



# AGENDA REQUEST FORM

THE SCHOOL BOARD OF BROWARD COUNTY, FLORIDA

ITEM No.:  
**1.**

MEETING DATE	2018-04-17 09:30 - Special Meeting
AGENDA ITEM	SUPERINTENDENT'S RECOMMENDATION
CATEGORY	Superintendent's Recommendation
DEPARTMENT	Facilities Construction

Special Order Request <input type="radio"/> Yes <input checked="" type="radio"/> No
Time
Open Agenda <input checked="" type="radio"/> Yes <input type="radio"/> No

**TITLE:**  
Second GMP Amendment to the Construction Services Agreement - The Morganti Group, Inc. - Blanche Ely High School - Pompano Beach - SMART Program Renovations - Project No. P.001646

**REQUESTED ACTION:**  
Approve Second GMP Amendment to the Construction Services Agreement dated November 1, 2016 with The Morganti Group, Inc., Blanche Ely High School, SMART Program Renovations, Project No. P.001646, and approve additional funding in the amount of \$7,310,000.

**SUMMARY EXPLANATION AND BACKGROUND:**  
See Exhibit 1 for details.  
This Amendment has been reviewed and approved as to form and legal content by the Office of the General Counsel.

**SCHOOL BOARD GOALS:**  
 Goal 1: High Quality Instruction  Goal 2: Continuous Improvement  Goal 3: Effective Communication

**FINANCIAL IMPACT:**  
This project has been appropriated in the Adopted District Educational Facilities Plan (September 6, 2017). There is an additional impact to the project budget. These funds in the amount of \$7,310,000 will come from the Capital Projects Reserve.

**EXHIBITS: (List)**  
(1) Executive Summary (2) Second GMP Amendment (3) Collaboration Form

**BOARD ACTION:**  
**APPROVED AS AMENDED**  
(SEE AMENDMENT ATTACHED)  
(For Official School Board Records Office Only)

<b>SOURCE OF ADDITIONAL INFORMATION:</b>	
Name: Frank Girardi, Director	Phone: 754-321-1525
Name: Robert C. Corbin, CBRE   Heery Director	Phone: 754-321-4850

**THE SCHOOL BOARD OF BROWARD COUNTY, FLORIDA**  
Senior Leader & Title

Leo Bobadilla - Chief Facilities Officer

Signature  
Leo Bobadilla Jr  
4/13/2018 5:25:14 PM

Approved In Open Board Meeting On: **APR 24 2018**  
By: *Nora Ruper*  
School Board Chair

**Item 1. Amendment April 17, 2018 Special Meeting -  
Second GMP Amendment to the Construction Services Agreement**

Motion to Amend (Carried)

Motion was made by Ms. Korn, seconded by Mrs. Freedman and carried, to amend the Date of Commencement at the bottom of page 1 of Exhibit 2 of the contract from ~~April 12, 2018~~ to April 18, 2018.

**EXHIBIT A  
TO CONSTRUCTION MANAGER AT RISK AGREEMENT  
GMP #2 AMENDMENT**

THIS GMP #2 AMENDMENT, made and entered into as of this 17th day of April, 2018, (“GMP #2 Amendment”) amends that certain Agreement between Owner (The School Board of Broward County, Florida) and Construction Manager (The Morganti Group, Inc.), made as of the 1<sup>st</sup> day of November 2016 for the following described project: Blanche Ely Senior High School SMART Project, (Project).

WHEREAS, the Owner and the Construction Manager have agreed to amend the Agreement in the manner set forth herein.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained herein, in the Agreement and the other Contract Documents and for such other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Owner and the Construction Manager do hereby agree as follows:

1. This GMP #2 Amendment is executed in connection with, and is deemed to be a part of the Agreement and the Contract Documents. Wherever the terms of this GMP #2 Amendment and the terms of the Contract Documents are in conflict, the terms of this GMP #2 Amendment shall govern and control. The terms used herein, unless otherwise defined in this GMP #2 Amendment, shall have the meanings ascribed to them in the Contract Documents.
2. The following are hereby incorporated into the Contract Documents and made part thereof:
  - a. The drawings listed on **Attachment I** attached hereto, which drawings are made a part of the Contract Documents by this reference (the “Drawings”); and
  - b. The specifications listed on **Attachment II** attached hereto, which specifications are made a part of the Contract Documents by this reference (the “Specifications”).
  - c. Those documents listed on **Attachment III**, Additional Contract Documents, attached hereto, are made a part of the Contract Documents by this reference.

3. The entire Scope of the Work for the Project is hereby incorporated into the work.

.1 The **Date of Commencement** for the project shall be: ~~April 12, 2018~~ April 18, 2018

The Construction Manager shall achieve Substantial Completion of the entire Work not later than August 1, 2020 and final completion not later than 60 calendar days from the date of Substantial Completion. Failure to meet either the Substantial Completion or Final Completion dates shall be a material

**EXECUTIVE SUMMARY**

**Second GMP Amendment to Construction Services Agreement  
The Morganti Group, Inc.  
Blanche Ely High School, Pompano Beach  
SMART Program Renovations  
Project No. P.001646**

**PROJECT OVERVIEW:**

<b>Type of Contract:</b>	<b>Construction Manager at Risk (CMAR)</b>
<b>Construction Manager:</b>	<b>The Morganti Group, Inc.</b>
<b>Notice to Proceed Date:</b>	<b>Pending</b>
<b>Budget:</b>	<b>See Below</b>

**GENERAL OVERVIEW:**

The Guaranteed Maximum Price (GMP) Amendment associated with Single Point of Entry improvements was approved by the Board on June 27, 2017 (Agenda Item JJ-2) in the amount of \$249,000. The Single Point of Entry improvements are in construction and nearing completion. The purpose of the Second GMP Amendment is to establish \$17,992,000 as the GMP for the remaining SMART Program improvements. The Project costs are guaranteed by the Construction Manager not to exceed the combined sum of GMP Amendment and Second GMP Amendment equaling \$18,241,000.

The scope of work for the Second GMP Amendment includes gymnasium accessibility, ADA stage lift, outdoor dining renovations, fire sprinklers, HVAC improvements, building envelope improvements, STEM lab improvements, media center improvements, and IAQ and fascia replacement.

Pursuant to the process for securing bids in order to determine the Second GMP Amendment amount, bids were received on February 22, 2018 and were opened on February 23, 2018. The Second GMP Amendment as submitted by The Morganti Group, Inc., in accordance with Article 6 of the CMAR agreement, has been received and is recommended for acceptance and approval in the amount of \$17,992,000.

Included in the Second GMP Amendment are agreed upon Allowances that total \$2,115,885 and a Construction Contingency of \$761,012 which are customary under the CMAR delivery model and allowed by the Construction Contract Agreement. The purpose of the Allowances is to account for work items that are identified but not quantifiable at the time of the GMP submission. Procedures and expenditures related to the use of any Contingency and any Allowances included in the Second GMP Amendment shall comply with the CMAR Agreement Section 6.1.1 and Specification Section 01295 Contract Modification Procedures. The Morganti Group, Inc. must request and receive prior written approval by the Owner, through an Allowance Expenditure Proposal (“AEP”), to use funds contained in each Allowance prior to expenditure of funds. The use of any Allowance is subject to unanimous approval of the AEP by the Chief Facilities Officer, Director of Construction, Owner’s Representative, and Project Cost Consultant, prior to disbursement to The Morganti Group, Inc.

The Second GMP Amendment submitted by The Morganti Group, Inc. exceeds the available funds and requires additional funding to proceed with the SMART Program Renovations. In order to authorize the award of this Second GMP Amendment, CBRE | Heery recommends the Board approve additional funding in the amount of \$7,310,000.

The subject of anticipated budget overages with the SMART Program has been previously briefed to the Board by Atkins through communications titled SMART Program Risk Assessment and Construction Market Conditions. The overall average of the SMART Program overage has been communicated to the Board to be an average of 25%. Discussions have also included that the anticipated overage for the projects at Blanche Ely High School, Northeast High School and Stranahan High School would exceed these averages. This overage was captured in the Atkins Risk Assessment Model that was previously communicated to the Board. As a result, the Board previously set aside \$219.7M for Program Reserves to address these anticipated overages.

Analysis of the budget overage for Blanche Ely High School has been conducted by Atkins and CBRE | Heery. There are two areas of scope that are primarily resulting in this overage, building envelope improvements and HVAC improvements. The overage of the building envelope improvements is roughly \$6.3M and the overage of the HVAC improvements is roughly \$1M.

The revised overall project budget for the Second GMP Amendment for the SMART Program Renovations at Blanche Ely High School is \$14,425,436 [\$14,795,436 (Original Total Project Budget) - \$121,000 (Weight Room Renovation) - \$249,000 (Single Point of Entry GMP Amendment)]. Of this amount, the Second pre-GMP Amendment budget is \$11,030,095 and the Second pre-GMP Owner construction contingency is \$551,505 (5% of construction budget). The balance of the budget is for costs such as design fees, program management fees, and other soft costs.

The Second GMP Amendment that was received from The Morganti Group, Inc. was for \$17,992,000. This proposal is \$6,961,905 over the Second pre-GMP Amendment budget [\$17,992,000 (Second GMP Amendment amount) - \$11,030,095 (Second pre-GMP Amendment budget)]. In addition, in order to maintain a 5% Owner construction contingency for the project, the contingency needs to be increased by \$348,095 [\$899,600 (5% value of Second GMP Amendment) - \$551,505 (Second pre-GMP Owner construction contingency)].

The total requested increase to the overall project budget for the SMART Program Renovations is therefore \$7,310,000 (\$6,961,905 + \$348,095).

The Second GMP Amendment has been reviewed and approved as to form and legal content by the Office of the General Counsel.

For the latest Bond Oversight Committee Quarterly Report information regarding this project [click here](#).

**EXHIBIT A**  
**TO CONSTRUCTION MANAGER AT RISK AGREEMENT**  
**GMP #2 AMENDMENT**

THIS GMP #2 AMENDMENT, made and entered into as of this 17th day of April, 2018, (“GMP #2 Amendment”) amends that certain Agreement between Owner (The School Board of Broward County, Florida) and Construction Manager (The Morganti Group, Inc.), made as of the 1<sup>st</sup> day of November 2016 for the following described project: Blanche Ely Senior High School SMART Project, (Project).

WHEREAS, the Owner and the Construction Manager have agreed to amend the Agreement in the manner set forth herein.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained herein, in the Agreement and the other Contract Documents and for such other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Owner and the Construction Manager do hereby agree as follows:

1. This GMP #2 Amendment is executed in connection with, and is deemed to be a part of the Agreement and the Contract Documents. Wherever the terms of this GMP #2 Amendment and the terms of the Contract Documents are in conflict, the terms of this GMP #2 Amendment shall govern and control. The terms used herein, unless otherwise defined in this GMP #2 Amendment, shall have the meanings ascribed to them in the Contract Documents.
2. The following are hereby incorporated into the Contract Documents and made part thereof:
  - a. The drawings listed on **Attachment I** attached hereto, which drawings are made a part of the Contract Documents by this reference (the “Drawings”); and
  - b. The specifications listed on **Attachment II** attached hereto, which specifications are made a part of the Contract Documents by this reference (the “Specifications”).
  - c. Those documents listed on **Attachment III**, Additional Contract Documents, attached hereto, are made a part of the Contract Documents by this reference.
3. The entire Scope of the Work for the Project is hereby incorporated into the work.
  - .1 The **Date of Commencement** for the project shall be: April 12, 2018.The Construction Manager shall achieve Substantial Completion of the entire Work not later than August 1, 2020 and final completion not later than 60 calendar days from the date of Substantial Completion. Failure to meet either the Substantial Completion or Final Completion dates shall be a material

breach of this Agreement.

- .1 The Owner and the Construction Manager acknowledge and agree that the Owner will suffer damages if the Construction Manager fails to achieve Substantial Completion of the entire Work, as defined in the Contract Documents, on or before the expiration of the Contract Time, which damages are difficult, if not impossible, to ascertain with any degree of certainty. Accordingly, if the Construction Manager fails to achieve Substantial Completion of the entire Work for this Project on or before the expiration of the Contract Time, liquidated damages (which are not intended as a penalty) shall be assessed against the Construction Manager in an amount of One Thousand Dollars (\$1,000.00) per calendar day.
- .2 To the extent that the Contract Documents include specific provisions for liquidated damages to be applied separately for any Phase, Building or other portion of the Work prior to the required completion date or within the Contract Time for the entire Project, such liquidated damages shall be assessed based on the required completion dates and construction time durations set forth in the approved schedule for each such separate portion of the Work.
- .3 The Guaranteed Maximum Price for GMP #1 Amendment for the Blanche Ely Senior High School Single Point of Entry is Two Hundred Forty Nine Thousand and 00/100 Dollars (\$249,000.00). The Guaranteed Maximum Price for GMP #2 Amendment for the Blanche Ely Senior High School SMART Project is Seventeen Million Nine Hundred Ninety-Two Thousand and 00/100 Dollars (\$17,992,000.00). The Project is hereby guaranteed by the Construction Manager not to exceed the combined sum of GMP #1 Amendment and GMP #2 Amendment equaling Eighteen Million Two Hundred Forty-One Thousand and 00/100 Dollars (\$18,241,000.00) (the "Project GMP"), based upon the entire Scope of Work as described in the Contract Documents, including, but not limited to, the Drawings and the Specifications, subject only to additions and deductions by Change Order or Construction Change Directive, as provided in the Contract Documents. The GMP is more particularly itemized in the Schedule of Values prepared in accordance with the terms of the Agreement, which Schedule of Values is attached hereto and made a part of the Contract Documents by this reference. The contingency included in the GMP #1 Amendment for the Blanche Ely Senior High School Single Point of Entry is Nine Thousand Five Hundred Thirty-One and 00/100 Dollars (\$9,531.00). Included in the Schedule of Values and specifically identified herein, the contingency included in the GMP #2 Amendment for the Blanche Ely Senior High School SMART Project is Seven Hundred

Sixty-One Thousand Twelve and 00/100 Dollars (\$761,012.00).

- .4 Whether or not the Construction or Contract Documents enumerated in the Attachments to this GMP #2 Amendment have actually been completed to the level of 100% as defined by this Agreement, the Guaranteed Maximum Price includes all Work reasonably inferable from such Construction and Contract Documents, the documents referenced in section paragraph 1.4 of the Construction Manager At-Risk Agreement and all responses issued by the Design Consultant to CM's bidding inquiries and requests for information, as necessary to deliver a fully completed and finished working Project. To the extent there exists a conflict between the Construction and Contract Documents and any of the other aforementioned reference documents, the item of higher price, quantity or quality shall be included in the Guaranteed Maximum Price, without use of any Contingency.
- .5 Procedures and expenditures related to use of any Contingency and any Allowances included in this GMP shall comply with CMAR Agreement Section 6.1.1, Specification Section 01250 respectively, and all provisions of such documents are incorporated into and made a part of this Contract.
- .6 Procedures and expenditures related to direct purchases of materials by the Owner for this Project shall comply with Specification Section 01295, and all provisions of such documents are incorporated into and made a part of this Contract.
- .7 The Construction Manager shall provide Commercial General Liability Insurance, Automobile Liability Insurance, Professional Liability Insurance and Worker's Compensation Insurance in compliance with the provisions of Article 9 of the CMAR Agreement and Article 29 of the General Conditions of the Contract for Construction, satisfactory to the Owner's Office of Risk Management.
- .8 By executing this GMP #2 Amendment, the Construction Manager acknowledges that it has ascertained all correct locations for points of connection for all utilities, if any, required for this Project; and has identified all clarifications and qualifications for this Project, if any.
- .9 The Construction Manager's on-site management and supervisory personnel for this Project are set forth on **Attachment IV**, attached hereto and made a part hereof by this reference.
- .10 To the extent that the Owner has authorized the Construction Manager, in writing, to perform a portion of the Work for this Project; with the Construction Manager's own forces, the salary and wage schedule for the Construction Manager's personnel performing such portion of the Work,



agreed upon by the Owner and the Construction Manager, shall be as set forth on **Attachment IV**, attached hereto and made a part of the Contract Documents by this reference. The Construction Manager warrants and represents that the salary and wage schedule includes the lowest comparable market rates (including any and all benefits, contributions and insurance) charged by the Construction Manager for comparable contracts to other businesses and individuals for similar services, and that such rates are not higher than the standard paid at the place of this Project.

- .11 The Construction Schedule for this Project is set forth on **Attachment V**, attached hereto and made a part hereof by this reference. The final accepted schedule for construction as required in the Construction Manager At-Risk Agreement and included in this GMP #2 Amendment shall not be construed as the Detailed Initial or Baseline Schedule as set forth in the General Conditions of the Contract for Construction which schedule shall be prepared by the CM and separately submitted for review and approval after approval of the GMP #2 Amendment by the Owner, as set forth in the General Conditions of the Contract for Construction.
- .12 Except as expressly provided herein above, all of the terms, conditions, covenants, agreements and understandings contained in the Contract Documents shall remain unchanged and in full force and effect, and the same are hereby expressly ratified and confirmed by the Owner and the Construction Manager.
- .13 This Amendment may be executed in several counterparts, each of which shall be deemed an original but not all of which shall constitute one and the same instrument.
- .14 Delete all text in Article 3.4.1 of CMAR Agreement and replace with "Not Used".
- .15 Revise Article 3.4.3 of CMAR Agreement as follows:

3.4.3 Upon receipt of 100% Construction Documents from the Project Consultant, Owner approval of the latest Statement of Probable Construction Cost, and Owner approval to bid, the Construction Manager shall prepare and issue the bid packages to cover the scope of the Work for this contract.
- .16 Add Article 6.1.4 to the CMAR Agreement as follows:

6.1.4 In addition to the Cost of Work and construction contingency, the GMP may include one or more allowance to be used for work items that are identified, but not quantifiable at the time of GMP submission. The Construction Manager must request and receive prior written approval by the Owner, through an Allowance Expenditure Proposal ("AEP"), to use funds contained in each allowance prior to expenditure of funds. The use of any allowance is subject to the unanimous approval of the AEP by the Chief Facilities Officer, Director of Construction, Owner's Representative, and Project Cost Consultant, prior to disbursement to Construction Manager

IN WITNESS WHEREOF, the parties have affixed their signatures, effective on the date first written above.



*Robert W. Runcie*  
Robert W. Runcie, Superintendent of Schools

THE SCHOOL BOARD OF BROWARD  
COUNTY, FLORIDA

By *Nora Rupert*  
Nora Rupert, Chair

Approved as to Form and Legal Content:

*M. Corney*  
Office of the General Counsel

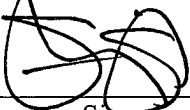
**FOR [The Morganti Group]**

(Corporate Seal)

ATTEST:

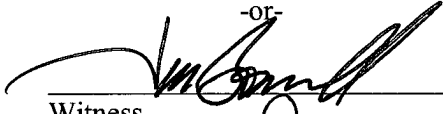
\_\_\_\_\_  
, Secretary

**[The Morganti Group, Inc.]**

By  \_\_\_\_\_  
Signature

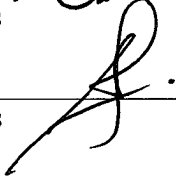
Printed Name: Stephen Swiss

Title: OPERATIONS MANAGER

-or-  
  
\_\_\_\_\_  
Witness

Witness

Witness

  
\_\_\_\_\_

**ATTACHMENTS**

ATTACHMENT I - CONTRACT DOCUMENTS - THE DRAWINGS

ATTACHMENT II - CONTRACT DOCUMENTS - THE SPECIFICATIONS

ATTACHMENT III - CONTRACT DOCUMENTS - ADDITIONAL CONTRACT DOCUMENTS

ATTACHMENT IV - CONTRACT DOCUMENTS - SALARY AND WAGE SCHEDULE

ATTACHMENT V - CONTRACT DOCUMENTS – THE CONSTRUCTION SCHEDULE

**END OF EXHIBIT “A”**

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**Blanche Ely Senior High School SMART Project**  
**P.001646**

**Guaranteed Maximum Price Amendment No. 2**

**Attachment I – Contract Documents – The Drawings**

*Construction Management • General Contracting • Design Build • Project Management*

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**Attachment I - Contract Documents - The Drawings**

<b>Drawing Number</b>	<b>Drawing Title</b>	<b>Date</b>
<b><u>GENERAL</u></b>		
A0.00	COVER SHEET	12/13/17
A0.01	INDEX OF DRAWINGS	12/13/17
<b><u>CIVIL</u></b>		
C.1	PAVING GRADING AND DRAINAGE PLAN	12/13/17
C.2	FIRE LANE PLAN	12/13/17
<b><u>ARCHITECTURE</u></b>		
DA1.03	DEMOLITION OUTDOOR DINING	12/13/17
DA3.04	DEMOLITION ROOF PLAN BLDG 1	12/13/17
DA3.05	DEMOLITION & PHOTOGRAPHS	12/13/17
DA3.06	DEMOLITION & PHOTOGRAPHS	12/13/17
DA3.07	DEMOLITION ROOF PLAN BLDG 17	12/13/17
DA3.08	DEMOLITION ROOF PLAN BLDG 18	12/13/17
DA3.09	DEMOLITION & PROPOSED ROOF PLAN	12/13/17
A1.01	SITE PLAN	12/13/17
A1.02	ALUMINUM COVERED WALKWAY	12/13/17
A1.03	OUTDOOR DINING AREA	12/13/17
A1.04	OUTDOOR DINING AREA ROOF PLAN	12/13/17
A1.05	OUTDOOR DINING AREA RCP	12/13/17
A1.06	OUTDOOR DINING SEATING PLAN	12/13/17
A2.01	COMPREHENSIVE 1ST FLOOR SITE PLAN	12/13/17
A2.02	COMPREHENSIVE 2ND FLOOR SITE PLAN	12/13/17
A3.01	FLOOR PLAN BUILDING 14	12/13/17
A3.02	FLOOR PLAN BUILDING 18	12/13/17
A3.03	FLOOR PLAN BUILDING 2 & 17	12/13/17
A3.04	PROPOSED ROOF PLAN BLDG 1	12/13/17
A3.05	DEMOLITION & PROPOSED ROOF PLAN BLDG 2	12/13/17
A3.06	DEMOLITION & PROPOSED ROOF PLAN BLDG 10 & 11	12/13/17
A3.07	PROPOSED ROOF PLAN BLDG 17	12/13/17
A3.08	PROPOSED ROOF PLAN BLDG 16 & 18	12/13/17
A3.09	DEMOLITION & PROPOSED ROOF PLAN BLDG 20 & 21	12/13/17
A3.10	DEMOLITION & PROPOSED ROOF PLAN BLDG 4	12/13/17
A3.11	ROOF PLAN EQUIPMENT CABLING BLDG 26 & 30	12/13/17
A3.12	ROOF PLAN EQUIPMENT CABLING BLDG 27 & 28	12/13/17



A3.13	ROOF PLAN EQUIPMENT CABLING BLDG 14 & 15	12/13/17
A4.01	ELEVATIONS BUILDING 14	12/13/17
A4.02	ELEVATIONS BUILDING 18	12/13/17
A4.04	ELEVATIONS BUILDING 2	12/13/17
A5.01	SECTIONS	12/13/17
A6.20	DEMOLITION RCP – BLDG 2	12/13/17
A6.21	PROPOSED RCP – BLDG 2	12/13/17
A7.01	CAMPUS PLUMBING FIXTURE ANALYSIS	12/13/17
A7.05	RESTROOM PLAN BUILDING 2	12/13/17
A7.06	RESTROOM PLAN BUILDING 13	12/13/17
A7.07	RESTROOM PLAN BUILDING 13	12/13/17
A7.08	RESTROOM PLAN BUILDING 14	12/13/17
A7.09	RESTROOM PLAN BUILDING 14	12/13/17
A7.10	RESTROOM PLAN BUILDING 14 MEZZANINE	12/13/17
A7.11	RESTROOM & CONCESSION STAND PLAN BUILDING 14	12/13/17
A7.12	ACCESSORY MOUNTING HEIGHT & DETAILS	12/13/17
A7.13	NEW UNENCLOSED VERTICAL LIFT - BUILDING 14	12/13/17
A7.14	NEW UNENCLOSED VERTICAL LIFT - BUILDING 14	12/13/17
A7.15	MECHANICAL ROOM MODIFICATIONS	12/13/17
A7.16	MECHANICAL ROOM MODIFICATIONS BUILDING 4	12/13/17
A7.20	FABRICATION STEM LAB – DEMOLITION PLAN – BLDG 2	12/13/17
A7.21	FABRICATION STEM LAB – PROPOSED PLAN – BLDG 2	12/13/17
A7.30	MEDIA CENTER ENLARGED DEMOLITION PLAN	12/13/17
A7.31	MEDIA CENTER ENLARGED PROPOSED PLAN	12/13/17
A8.01	ROOF DETAILS - TYPICAL	12/13/17
A8.02	ROOF DETAILS - TYPICAL	12/13/17
A8.03	DETAILS - TYPICAL	12/13/17
A9.01	PARTITION TYPES	12/13/17
A9.01A	DETAILS - FIREPROOFING	12/13/17
A9.02	DOOR SCHEDULE & DETAILS	12/13/17
A11.01	TYPICAL MILLWORK TYPES	12/13/17

### **STRUCTURAL**

S1.01	WIND PRESSURE DIAGRAM ROOF PLAN BLDG 1	12/13/17
S1.02	WIND PRESSURE DIAGRAM ROOF PLAN BLDG 2	12/13/17
S1.03	WIND PRESSURE DIAGRAM ROOF PLAN BLDG 10 & 11	12/13/17
S1.04	WIND PRESSURE DIAGRAM ROOF PLAN BLDG 16 & 18	12/13/17
S1.05	WIND PRESSURE DIAGRAM ROOF PLAN BLDG 17	12/13/17
S1.06	WIND PRESSURE DIAGRAM ROOF PLAN BLDG 20	12/13/17
S-2.0	FOUNDATION AND ROOF FRAMING PLAN	12/13/17

S-2.1	RESTROOM PLANS – BLDG 1	12/13/17
S-3.0	SECTIONS	12/13/17
S-7.0	TYPICAL DETAILS	12/13/17
S-8.0	GENERAL CONSTRUCTION NOTES	12/13/17
S-8.1	BEAM SCHEDULE AND COLUMN SCHEDULE	12/13/17

**PLUMBING**

P1.01	LEGEND AND NOTES	12/13/17
DP3.01	FIRST FLOOR PLAN BUILDING 1 - PLUMBING DEMOLITION	12/13/17
DP3.02	SECOND FLOOR PLAN BUILDING 1 - PLUMBING DEMOLITION	12/13/17
DP3.03	FIRST FLOOR PLANS BUILDINGS 2 & 13 - PLUMBING DEMOLITION	12/13/17
DP3.04	FLOOR PLANS BUILDING 14 - PLUMBING DEMOLITION	12/13/17
DP3.05	FLOOR & ROOF PLAN BUILDINGS 15, 16, 17 & 20 - PLUMBING DEMOLITION	12/13/17
DP3.06	FLOOR PLANS BUILDINGS 26 - PLUMBING DEMOLITION	12/13/17
DP4.01	ENLARGED MECHANICAL ROOM PLANS - PLUMBING DEMOLITION	12/13/17
DP4.02	ENLARGED MECHANICAL ROOM PLANS - PLUMBING DEMOLITION	12/13/17
DP4.03	ENLARGED MECHANICAL ROOM PLANS - PLUMBING DEMOLITION	12/13/17
DP4.04	ENLARGED MECHANICAL ROOM PLANS - PLUMBING DEMOLITION	12/13/17
DP4.05	ENLARGED MECHANICAL ROOM PLANS - PLUMBING DEMOLITION	12/13/17
DP4.06	RESTROOM DEMOLITION ENLARGED PLANS - PLUMBING	12/13/17
DP4.07	RESTROOM DEMOLITION ENLARGED PLANS - PLUMBING	12/13/17
P3.01	FIRST FLOOR PLAN BUILDING 1 - PLUMBING	12/13/17
P3.02	SECOND FLOOR PLAN BUILDING 1 - PLUMBING	12/13/17
P3.03	ROOF PLAN BUILDING 1 - PLUMBING	12/13/17
P3.04	FIRST FLOOR PLANS - BUILDINGS 2 & 13 - PLUMBING	12/13/17
P3.05	FLOOR PLANS - BUILDING 14 - PLUMBING	12/13/17
P3.06	FLOOR & ROOF PLAN - BUILDINGS 15, 16 & 17 - PLUMBING	12/13/17
P3.07	FLOOR & ROOF PLAN - BUILDINGS 17, 18 & 20 - PLUMBING	12/13/17
P3.08	FLOOR PLANS - BUILDING 26 - PLUMBING	12/13/17
P4.01	ENLARGED MECHANICAL ROOM PLANS - PLUMBING	12/13/17
P4.02	ENLARGED MECHANICAL ROOM PLANS - PLUMBING	12/13/17
P4.03	ENLARGED MECHANICAL ROOM PLANS - PLUMBING	12/13/17

P4.04	ENLARGED MECHANICAL ROOM PLANS - PLUMBING	12/13/17
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P4.06	RESTROOM ENLARGED PLANS - PLUMBING	12/13/17
P4.07	RESTROOM ENLARGED PLANS - PLUMBING	12/13/17
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FP3.04	FIRE PROTECTION PLAN - BLDG 1 - ENLARGED PLANS	12/13/17
FP4.01	FIRE PROTECTION NOTES & DETAILS	12/13/17

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DM2.02	CHILLER PLANT FLOOR PLAN DEMOLITION - BLDG 4	12/13/17
DM3.01	FIRST FLOOR PLAN BLDG 1 HVAC DEMOLITION	12/13/17
DM3.02	SECOND FLOOR PLAN BLDG 1 HVAC DEMOLITION	12/13/17
DM3.03	ROOF PLAN BLDG 1 HVAC DEMOLITION	12/13/17
DM3.04	FIRST & SECOND FLOOR PLAN BLDG 14 HVAC DEMOLITION	12/13/17
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DM3.06	FIRST & SECOND FLOOR PLAN BLDG 17 HVAC DEMOLITION	12/13/17
DM3.07	FIRST FLOOR PLAN BLDG 2, 13, 15, 16 & 20 HVAC DEMOLITION	12/13/17
DM3.08	PARTIAL PLANS BLDG 26 HVAC DEMOLITION	12/13/17
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DM4.00	OVERALL 1ST, 2ND & 3RD FLOOR PLANS - DEMOLITION	12/13/17
DM4.01	ENLARGED MECHANICAL ROOM PLANS - DEMOLITION	12/13/17
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DM4.03	ENLARGED MECHANICAL ROOM PLANS - DEMOLITION	12/13/17
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DM4.07	ENLARGED MECHANICAL ROOM PLANS - DEMOLITION	12/13/17
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M3.07	FIRST FLOOR PLAN BLDG 2, 13, 15, 16, & 20 HVAC	12/13/17
M3.08	PARTIAL PLANS BLDG 26 HVAC	12/13/17
M4.00	OVERALL 1ST, 2ND & 3RD FLOOR PLANS	12/13/17
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M4.04	ENLARGED MECHANICAL ROOM PLANS	12/13/17
M4.05	ENLARGED MECHANICAL ROOM PLANS	12/13/17
M4.06	ENLARGED MECHANICAL ROOM PLANS	12/13/17
M4.07	ENLARGED MECHANICAL ROOM PLANS	12/13/17
M4.08	ENLARGED MECHANICAL ROOM PLANS	12/13/17
M4.09	ENLARGED MECHANICAL ROOM PLANS	12/13/17
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E2.01	COMPREHENSIVE FIRST FLOOR PLAN	12/13/17
E2.02	COMPREHENSIVE SECOND FLOOR PLAN	12/13/17
DE4.01	ENLARGED PLANS POWER DEMOLITION	12/13/17
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DE4.03	ENLARGED PLANS POWER DEMOLITION	12/13/17
DE4.04	ENLARGED PLANS POWER DEMOLITION	12/13/17
DE4.05	ENLARGED PLANS POWER DEMOLITION	12/13/17
DE4.06	ENLARGED PLANS POWER DEMOLITION	12/13/17
DE4.07	ENLARGED PLANS POWER DEMOLITION	12/13/17
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E3.14	ENLARGED RESTROOMS PLAN BLDG 14 - DEMOLITION AND NEW WORK	12/13/17
E3.15	ENLARGED RESTROOMS PLAN BLDG 14 - DEMOLITION AND NEW WORK	12/13/17
E3.16	ENLARGED RESTROOMS PLAN BLDG 14 MEZZANINE - DEMOLITION AND NEW WORK	12/13/17
E3.17	ENLARGED RESTROOMS PLAN BLDG 14 - DEMOLITION AND NEW WORK	12/13/17
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E3.19	ENLARGED PLAN OUTDOOR DINING AREA LIGHTING AND POWER DEMOLITION	12/13/17
E3.20	ENLARGED PLAN OUTDOOR DINING AREA LIGHTING AND POWER NEW WORK	12/13/17
<b>E3.21</b>	<b>ALUMINUM WALKWAY DEMO &amp; PROPOSED LIGHTING</b>	<b>01/16/18 RFI 023</b>
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E4.02	ENLARGED PLANS - POWER AND LIGHTING	12/13/17
E4.03	ENLARGED PLANS - POWER	12/13/17
E4.04	ENLARGED SECOND PLANS BLDG 1 - POWER	12/13/17
E4.05	ENLARGED PLANS - POWER	12/13/17
E4.06	ENLARGED PLANS BLDG 17 - POWER	12/13/17
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E4.08	ENLARGED PLANS - POWER	12/13/17
E4.09	ENLARGED ROOF PLAN BLDG 1, 2, 13, 14 & 15 - POWER	12/13/17
E6.01	EXISTING POWER RISER DIAGRAM	12/13/17
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E9.03	PANEL SCHEDULES	12/13/17
E9.04	PANEL SCHEDULES	12/13/17
E9.05	PANEL SCHEDULES	12/13/17
E9.06	PANEL SCHEDULES	12/13/17

**SKETCHES ISSUED WITH RESPONSES TO PRE-BID RFI**

ASK-1	WHEELCHAIR LIFT B DEMOLITION PLAN – BLDG 14 (A7.14)	1/29/18 RFI 34
ASK-2	WHEELCHAIR LIFT B PROPOSED PLAN – BLDG 14 (A7.14)	1/29/18 RFI 34
ASK-3	ADA LIFT A & B SECTIONS – PROPOSED (A7.13 /A7.14)	1/29/18 RFI 34
ASK-4	DOOR SCHEDULE AND NOTES (A9.02)	02/02/18 RFI 36
ASK-5	DOOR TYPES (A9.02)	02/02/18 RFI 36

**END OF LIST OF DRAWINGS**

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**Blanche Ely Senior High School SMART Project**  
**P.001646**

**Guaranteed Maximum Price Amendment No. 2**

**Attachment II – Contract Documents – The Specifications**

*Construction Management ■ General Contracting ■ Design Build ■ Project Management*

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## Attachment II - Contract Documents - The Specifications

Document Number	Document Title	Date
<b>Division 0 --</b>		
	Table of Contents	12/13/17
	List of Drawings	12/13/17
<b>Division 1 -- General Requirements</b>		
01110	Summary of Work	12/13/17
01250	Contract Modification Procedures	12/13/17
01250a	Proposal Request	12/13/17
01250b	Change Order Request (Proposal)	12/13/17
01250c	Proposal Worksheet Detail	12/13/17
01250d	Proposal Worksheet Summary	12/13/17
01250e	Construction Change Directive	12/13/17
01250f	Project Consultant's Supplemental Instructions	12/13/17
01250g	Construction Change Order Form	12/13/17
01290	Payment Procedures	12/13/17
01290a	Application for Payment	12/13/17
01295	Direct Owner Purchasing Program	12/13/17
01295a	SBBC Order Form	12/13/17
01295b	Vendor Request Form	12/13/17
01295c	Invoice Summary	12/13/17
01310	Project Management and Coordination	12/13/17
01310a	Contractor's Request for Information	12/13/17
01310b	Transmittal	12/13/17
01320	Construction Progress Documentation	12/13/17
01320a	Weekly Progress Report	12/13/17
01320b	Periodic Observation Report	12/13/17
01320c	Non-Conforming Work Notice	12/13/17
01321	Construction Schedule Critical Path Method (CPM)	12/13/17
01330	Submittal Procedures	12/13/17
01330a	Submittal Form	12/13/17
01340	Shop Drawings, Product Data, and Samples	12/13/17
01350	Special Procedures	12/13/17
01354	Construction Indoor Air Quality Management	12/13/17
01410	Regulatory Requirements	12/13/17
01420	References	12/13/17
01430	Quality Assurance	12/13/17
01450	Quality Control	12/13/17
01510	Temporary Utilities	12/13/17
01520	Construction Facilities	12/13/17
01540	Construction Aids	12/13/17
01550	Vehicular Access and Parking	12/13/17
01560	Temporary Barriers and Enclosures	12/13/17
01570	Temporary Controls	12/13/17
01572	Construction Waste Management	12/13/17

01580	Project Identification	12/13/17
01610	Basic Product Requirements	12/13/17
01620	Product Options	12/13/17
01630	Product Substitution Procedures	12/13/17
01630a	Contractor's Substitution Request	12/13/17
01663	Product Delivery, Storage and Handling Requirements	12/13/17
01700	Contract Closeout	12/13/17
01710	Examination	12/13/17
01720	Preparation	12/13/17
01730	Execution	12/13/17
01735	Operation and Maintenance Data	12/13/17
01740	Cleaning	12/13/17
01745	Warranties	12/13/17
01750	Starting and Adjusting	12/13/17
01760	Protection of Installed Construction	12/13/17
01770	Closeout Procedures	12/13/17
01770a	Contractor's Request for Substantial Completion Inspection	12/13/17
01770b	Project Consultant's Notification of Readiness for Substantial Completion Inspection	12/13/17
01770c	SF 727: Substantial Completion Inspection	12/13/17
01770d	SF 728: Substantial Completion Punch List	12/13/17
01770e	Project Consultant's Letter Establishing Substantial Completion Date	12/13/17
01770f	Contractor's Request for Final Completion Inspection	12/13/17
01770g	Project Consultant's Notification of Readiness for Final Completion Inspection	12/13/17
01770h	Project Consultant's Letter Establishing Final Completion Date	12/13/17
01780	Closeout Submittals	12/13/17
01810	Commissioning	12/13/17
01820	Demonstration and Training	12/13/17
01820a	Contractor's Demonstration & Training Attendance Log	12/13/17

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**Division 2 -- Site Work**

02070	Minor Demolition for Remodeling	12/13/17
02200	Earthwork	12/13/17
02220	Excavation and Fill for Utility Systems	12/13/17
02280	Soil Treatment	12/13/17
02660	Water Distribution	12/13/17
02720	Storm Drainage	12/13/17
02830	Chain Link Fences and Gates	12/13/17
02831	Decorative Metal Fences and Gates	12/13/17

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**Division 3 -- Concrete**

03305	Cast-in-Place Concrete and Reinforcement	12/13/17
03520	Lightweight Insulating Concrete	12/13/17

<b>Division 4 -- Masonry</b>		
<b>04200</b>	<b>Unit Masonry</b>	<b>01/12/18 RFI 32</b>
<b>04230</b>	<b>Reinforced Unit Masonry</b>	<b>01/12/18 RFI 32</b>
<b>Division 5 -- Metals</b>		
05400	Cold Formed Metal Framing	12/13/17
05500	Metal Fabrications	12/13/17
05520	Metal Handrails and Railings	12/13/17
05551	Stair Nosing	12/13/17
<b>Division 6 -- Wood &amp; Plastics</b>		
06100	Carpentry	12/13/17
06400	Architectural Woodwork	12/13/17
<b>Division 7 -- Thermal &amp; Moisture Protection</b>		
07121	Cold Fluid Applied Waterproofing	12/13/17
07190	Vapor Barrier	12/13/17
07210	Building Insulation	12/13/17
07220	Roof Insulation	12/13/17
07270	Firestopping and Smoke Barrier Caulking	12/13/17
07310	Asphalt Shingles	12/13/17
07551	Modified Bitumen Roofing (Torch Application)	12/13/17
07600	Flashing and Sheet Metal	12/13/17
07631	Gutters and Downspouts	12/13/17
07716	Roof Expansion Joints	12/13/17
07722	Roof Scuttles	12/13/17
07724	Prefabricated Curbs	12/13/17
07920	Joint Sealants	12/13/17
<b>Division 8 -- Doors &amp; Windows</b>		
<b>08110</b>	<b>Steel Doors and Frames</b>	<b>02/02/18 RFI 36</b>
08333	Overhead Coiling Doors	12/13/17
08520	Aluminum Windows	12/13/17
08710	Door Hardware	12/13/17
08800	Glass and Glazing	12/13/17
<b>Division 9 -- Finishes</b>		
09220	Portland Cement Plaster (Stucco)	12/13/17
09250	Gypsum Board	12/13/17
09310	Ceramic Tile	12/13/17
09330	Quarry Tile	12/13/17
09510	Acoustical Ceilings	12/13/17
09650	Resilient Tile Flooring	12/13/17
09683	Carpet Tile	12/13/17
09900	Painting	12/13/17
09910	Remedial Painting	12/13/17
09951	Resinous Flooring	12/13/17

<b>Division 10 -- Specialties</b>		
10165	Plastic Toilet Partitions	12/13/17
10200	Louvers and Vents	12/13/17
<b>10400</b>	<b>Identifying Devices</b>	<b>01/30/18 RFI 35</b>
10532	Aluminum Walkway Cover	12/13/17
10810	Toilet Accessories	12/13/17
10820	Shower Enclosures	12/13/17
<b>Division 12 -- Furnishings</b>		
12354	Laboratory Casework and Equipment	12/13/17
12930	Site Furnishings	12/13/17
<b>Division 13 -- Special Construction</b>		
13845	Fire Alarm System	12/13/17
<b>Division 14 -- Conveying Systems</b>		
<b>14429</b>	<b>Enclosed Vertical Wheelchair Lifts</b>	<b>01/29/18 RFI 34</b>
<b>Division 15 -- Mechanical</b>		
15050	Basic Materials and Methods	12/13/17
<b>15052</b>	<b>Variable Frequency Drives</b>	<b>01/18/18 RFI 33</b>
15055	Motors	12/13/17
15060	Hangers and Supports	12/13/17
15070	Mechanical Sound and Vibration Control	12/13/17
15075	Mechanical Identification	12/13/17
15078	Field Painting of Mechanical Systems	12/13/17
15083	Duct Insulation	12/13/17
15089	Piping Insulation	12/13/17
15100	Valves	12/13/17
15105	Plumbing Piping	12/13/17
15182	HVAC Pumps	12/13/17
15183	Hydronic Piping	12/13/17
15184	Refrigerant DX Piping and Specialties	12/13/17
15188	Hydronic Specialties	12/13/17
<b>15200</b>	<b>Chemical Treatment System</b>	<b>01/18/18 RFI 33</b>
15300	Fire Protection System	12/13/17
15410	Plumbing Fixtures	12/13/17
15430	Plumbing Specialties	12/13/17
15620	Packaged Water Cooled Chiller	12/13/17
15720	Air Handling Unit	12/13/17
15724	DX Air Conditioning Unit with Hot Gas Reheat	12/13/17
<b>15736</b>	<b>Ductless Air Conditioner</b>	<b>01/18/18 RFI 33</b>
15788	Refrigeration System Safety Equipment	12/13/17
15810	Metal Ducts	12/13/17
15825	Duct Heater	12/13/17
15830	Fans	12/13/17
<b>15850</b>	<b>Air Outlets and Inlets</b>	<b>01/18/18 RFI 33</b>
15860	Air Cleaning Devices	12/13/17

15900	HVAC Instrumentation and Controls	12/13/17
15995	Startup & Certification of Air, Water & Control Systems	12/13/17

**Division 16 -- Electrical**

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16010	General Provisions	12/13/17
16020	Completion of Work	12/13/17
16050	Basic Materials and Methods	12/13/17
16053	Provisions for Interior Finishing	12/13/17
16060	Grounding	12/13/17
16070	Equipment Bases, Mats and Supports	12/13/17
16072	Electrical Supporting Devices	12/13/17
16080	Electrical Inspection and Testing	12/13/17
16085	Cables, Splices and Terminations Testing	12/13/17
16090	Alterations and Additions to Existing Work	12/13/17
16120	Wire and Cables	12/13/17
16129	Terminal Lugs	12/13/17
16130	Raceways and Boxes	12/13/17
16132	Conduit, Fittings, and Supports	12/13/17
16137	Pull and Junction Boxes	12/13/17
16138	Outlet Boxes	12/13/17
16140	Wiring Devices	12/13/17
16220	Motor Starters	12/13/17
16225	Motor and Motor Controls	12/13/17
16410	Circuit Breakers	12/13/17
16413	Safety Switches	12/13/17
16415	Surge Protection	12/13/17
16440	Panelboards	12/13/17
16490	Fuses	12/13/17
16510	Interior Luminaires	12/13/17
16910	Electric Systems Controls	12/13/17
16912	Mechanical Systems Controls	12/13/17

**Appendix**

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<b>A</b>	<b>Limited Asbestos Survey Report by GLE Associates, Inc.</b>	<b>02/14/18</b>
B	Lead Based Report by EnHealth Environment, Inc.	12/13/17
C	Geotechnical Report by Nutting Engineers	12/13/17
<b>D</b>	<b>Roof Testing Reports</b>	<b>12/22/17</b>

**END OF SPECIFICATIONS**

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**Blanche Ely Senior High School SMART Project**  
**P.001646**

**Guaranteed Maximum Price Amendment No. 2**

**Attachment III – Contract Documents – Additional Contract Documents**

*Construction Management • General Contracting • Design Build • Project Management*

THE MORGANTI GROUP INC. • [WWW.MORGANTI.COM](http://WWW.MORGANTI.COM)

1450 Centrepark Blvd., Suite 260 • West Palm Beach, Florida 33401 • Phone: (561) 689-0200 • Fax: (561) 689-4774

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## Blanche Ely Senior High School SMART Project

### Attachment III - Contract Documents - Additional Contract Documents

Date: March 28, 2018  
 Owner: School Board of Broward County  
 CM: The Morganti Group, Inc.  
 Architect: Wolfberg Alvarez Architecture & Engineering



### GMP Summary

Division	Description	Estimated Quantity	Unit	Guaranteed Max Price
01000	General Construction	1	ls	\$ 239,154
02000	Existing Conditions	1	ls	\$ 985,570
03000	Concrete	1	ls	\$ 359,000
04000	Masonry	1	ls	\$ 229,000
05000	Metals	1	ls	\$ 338,500
07000	Thermal and Moisture Protection	1	ls	\$ 3,866,245
08000	Openings	1	ls	\$ 163,818
09000	Finishes	1	ls	\$ 501,715
10000	Specialties	1	ls	\$ 262,189
12000	Furnishings	1	ls	\$ 33,810
14000	Conveying Systems	1	ls	\$ 58,159
15000	Mechanical	1	ls	\$ 3,877,190
16000	Electrical	1	ls	\$ 493,998
	Subtotal - Division 1 - 16			\$ 11,408,348
	Overhead and Profit	4.85%	%	\$ 553,305
	General Conditions	1	ls	\$ 2,837,685
	Total Allowances	1	ls	\$ 2,115,885
	Construction Contingency	4.5%	%	\$ 761,012
	Subtotal			\$ 17,676,234
	Payment and Performance Bonds	1	ls	\$ 135,846
	General Liability Insurance	0.0100	ls	\$ 179,920
	<b>TOTAL GMP</b>			<b>\$ 17,992,000</b>

**29.93%** M/WBE Participation

**Attachment III - Contract Documents - Additional Contract Documents**

**Summary of Allowances**

Number	Description	Price
1.	All Building Department Plan Review Comments	\$ 450,000
2.	STEM Lab and Media Center Renovations	\$ 1,215,885
3.	STC Rating on Mechanical Room Doors	\$ 100,000
4.	Covered Dining Area Electrical, Light Fixtures and Fans	\$ 200,000
5.	Additional Roof Drains	\$ 150,000

**TOTAL ALLOWANCES \$ 2,115,885**

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## ATTACHMENT III - CONTRACT DOCUMENTS - ADDITIONAL CONTRACT DOCUMENTS

BLANCHE ELY HIGH SCHOOL  
BROWARD COUNTY SCHOOL DISTRICT  
THE MORGANTI GROUP INC.  
DDP GENERAL CONDITIONS

March 28, 2018

ITEM DESCRIPTION	Utilization Rate	QTY.	Unit	Unit Cost	Cost	Remarks
<b>LAYOUT</b>			ls.		\$ -	
Layout Partitions			sf.		\$ -	by trades
Independent Surveyor			ls.		\$ -	see div. 1 surveying
As-Built Survey			ls.		\$ -	see div. 1 surveying
					\$ -	
<b>TEMPORARY FACILITIES</b>			ls.		\$ -	see below
Field Office - Contractor	1	28	mo.	875.00	\$ 24,500	mobile modular
Field Meeting Trailer			mo.	400.00	\$ -	
Set-up & Removal	1	1	ea.	11,922.00	\$ 11,922	mobile modular
Field Office Entry Platforms	1	28	mo.	145.00	\$ 4,060	mobile modular
Field Office Furniture - Contractor			ls.		\$ -	in single point entry est.
Conference Table w/ 8 Chairs	1	1	ls.	3,000.00	\$ 3,000	
Field Office Janitor Service - Trailer	1	28	mo.	140.00	\$ 3,920	
Chemical Toilets - Contractor	3	28	mo.	85.00	\$ 7,140	
Septic Holding Tanks - Contractor	1	28	mo.	275.00	\$ 7,700	
FO Computer Network Conn./Cable Access	3	28	mo.	100.00	\$ 8,400	
					\$ -	
<b>TEMPORARY CONSTRUCTION</b>			ls.		\$ -	see below
Job Signs	1	1	ls.	500.00	\$ 500	
Temporary Partitions			sf.		\$ -	see div. 1 protective barriers
Field Office Security System	1	28	mo.	120.00	\$ 3,360	
<b>SITE SECURITY</b>						
Security Guard	1	18	mo.	6,000.00	\$ 108,000	7 days/wk 10pm-6am
					\$ -	
<b>CLEAN UP</b>			ls.		\$ -	see below
General Cleaning & Misc. Labor			hrs		\$ -	see div. 1 general cleanup
Final Cleaning			sf.		\$ -	see div. 1 final cleaning
20 YD - Dumpster	6	28	mo.	525.00	\$ 88,200	waste management rate
					\$ -	
<b>PERMITS (allowance)</b>			ls.		\$ -	excluded
					\$ -	
<b>SUPPLIES</b>			ls.		\$ -	see below
Office Supplies	1	28	mo.	300.00	\$ 8,400	
Project Management Bluebeam Software Licenses	7	1	ea.	499.00	\$ 3,493	per license, per year
Viewpoint Construction Management Program	7	28	ea.	100.00	\$ 19,600	per license, per year
Internal Networking Hub/Intranet/Phones	6	6	ea.	65.00	\$ 2,340	allowed per article 25
Staff Computers	1	6	ea.	1,850.00	\$ 9,996	allowed per article 25
Refrigerator	-	-	ea.	-	\$ -	
Postage & Overnight Mail	1	28	mo.	200.00	\$ 5,600	allowed per article 25
Safety Supplies	1	28	mo.	100.00	\$ 2,800	allowed per article 25
Drug Test Program	1	6	ea.	75.00	\$ 450	allowed per article 25
Jessica Lunsford Act	1	6	ea.	125.00	\$ 750	required by specifications
Progress Photos	1	28	mo.	25.00	\$ 700	required by specifications
Progress Photos - Aerials by Drone	1	-			\$ -	
Progress Photos - Professional Photographer	-	-	mo.	-	\$ -	required by specifications but owner deleted
Copier	1	28	mo.	500.00	\$ 14,000	required by specifications
First Aid / Safety Supplies	1	28	mo.	50.00	\$ 1,400	required by specifications
Eye Wash Station	1	2	ea.	550.00	\$ 1,100	required by specifications
Safety Shower	1	1	ea.	1,500.00	\$ 1,500	required by specifications
Designated Safety Area	1	1	ea.	1,000.00	\$ 1,000	required by specifications
Hard Hats - Staff	1	15	ea.	25.00	\$ 375	required by specifications
Hard Hats - Guests	1	15	ea.	25.00	\$ 375	required by specifications
Water Cooler	1	28	mo.	55.00	\$ 1,540	required by specifications
Bottled Water	1	28	mo.	40.00	\$ 1,120	required by specifications
Weather Thermometer (Weather Station)	1	1	ea.	500.00	\$ 500	required by specifications
Reproduction Expenses	1	6	set	200.00	\$ 1,200	
					\$ -	
<b>UTILITIES</b>			ls.		\$ -	
Construction Power - Meter, Site Lighting for Trailer	1	1	ea.	4,500.00	\$ 4,500	temporary power installation
Construction Power - Street Lighting for Trailer	1	1	ea.	1,200.00	\$ 1,200	temporary street light installation
Construction Power - Monthly			mo.	200.00	\$ -	use on site
Water Consumption - Monthly			mo.	500.00	\$ -	use on site
Water Consumption - Water Line for Trailer	1	1	ls.	1,500.00	\$ 1,500	temporary power installation

ITEM DESCRIPTION	Utilization Rate	QTY.	Unit	Unit Cost	Cost	Remarks
					\$ -	
<b>HOISTING</b>			ls.		\$ -	
Misc. Scaffolding	1	3	mo.	6,000.00	\$ 18,000	by Morganti
					\$ -	
<b>EQUIPMENT</b>			ls.		\$ -	see below
Utility Cart - Used	1	1	ea.	8,000.00	\$ 8,000	allowed by contract/article 25
					\$ -	
<b>SCHEDULING</b>					\$ -	see below
Scheduling Set-Up	1	1	ea.	3,000.00	\$ 3,000	
Scheduling Updates	1	28	mo.	450.00	\$ 12,600	
Scheduling Supplies			mo.		\$ -	included
<b>MISC. REQUIREMENTS</b>			ls.		\$ -	see below
Ribbon Ceremony	1	1	ls.	500.00	\$ 500	required by specifications
Project Closeout	1	1	ls.	1,850.00	\$ 1,850	required by specifications
Construction Manager's Staff					\$ 2,437,594	see attached breakdown
<b>SUB TOTAL REIMBURSABLE GENERAL CONDITIONS</b>					<b>\$ 2,837,685</b>	

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**Attachment III – Contract Documents – Additional Contract Documents****Assumptions and Clarifications**

1. The Guaranteed Maximum Price (GMP) is based on the 100% Construction Documents as provided by Wolfberg Alvarez and Partners, Inc. dated 12/13/2017. It does not include any designer of record nor owner changes after that date. Nor does the GMP include any requirements of the Broward County School District standardized specification requirements. All general references to the School Board of Broward County School's Standardized Specifications are excluded should they differ from the specifications listed as part of the GMP.
2. Site material testing, hazardous material surveying, third party, threshold and resident inspector have not been included in the GMP, and this work is to be provided by the Owner.
3. Any asbestos, lead or hazardous material abatement, removal or survey of said material is excluded and is by Owner with the exception of the non-friable asbestos roofing material which will be abated by the Roof Subcontractor.
4. Enhanced Commissioning and Commissioning Agents are excluded. Coordination and involvement in the commissioning team by our Superintendent, Electrical and Mechanical Subcontractors for commissioning compliance is included as per 01810, 1.5, C., Contractor's Responsibilities.
5. Owner provided insurance programs are excluded.
6. Roofing is clarified to include working the day shift and the evening shift. Only staging and preparation will occur during the day shift while school is in session. All removal and installation of roofing is to occur on the evening shift. Once class is dismissed or earlier if allowed by the Owner.
7. Stucco work is clarified to exclude repairs beyond necessary saw cuts to patched areas and where the parapet extensions occur. Sounding and repairing of existing stucco is excluded.
8. Specification Section SUMMARY OF WORK / Time Restrictions for Performing Work / 01110/1.6/C./4., which states "Time restrictions for performing work will not occur while classes are in session in building interiors between 8:00 am and 2:30 pm" is excluded. Construction work will be coordinated with school staff and Heery as needed.
9. The new stucco and lathe on the building exterior at the parapet extension locations will have a control joint separating the new and existing stucco.

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Further, the exterior painting is from stucco control joint up the two courses of new block and not the entire building or sections of the existing exterior walls.

10. The following note is excluded: Page S-8.10 Reinforcing Steel General Construction note that indicates "The contractor shall provide 25 tons of steel reinforcement for the engineer to use at his discretion during construction. The contractor shall give credit to the Owner for any unused portion of the allowance at the end of the project." The minimal scope of concrete work does not warrant the significant amount of extra reinforcing steel.
11. Warranties outlined in the specifications that exceed what the manufacturers will provide are excluded.
12. All AutoCAD, CADD and as built drawings are excluded. Red line drawings will be turned over to the designer of record at project completion.
13. The following allowances have been included in the GMP:
  1. All Building Department Plan Review Comments \$450,000.00.
  2. STEM Lab and Media Center Renovations \$1,215,885.00.
  3. STC Rating on Mechanical Room Doors \$100,000.00.
  4. Covered Dining Area Electrical, Light Fixtures and Fans \$200,000.00.
  5. Additional Roof Drains \$150,000.00.

Any un-used allowances shall be transferred to construction contingency, and allowance amounts shall be increased as necessary by contingency, budgets available within the GMP, or Owner Change Order in the event actual costs exceed the allowance amount. STEM Lab and Media Center Renovation allowance is based on FLCC budget provided by the Owner.

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**Attachment III - Contract Documents - Additional Contract Documents  
Preliminary Schedule of Values**

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	C1 CHANGES FROM ORIGINAL SCHEDULED VALUE	C2 REVISED SCHEDULED VALUE (C-C1)	D WORK COMPLETED		E THIS PERIOD	F MATERIALS STORED (NOT IN D OR E)	G TOTAL COMPLETED AND STORED TO DATE (D+E+F)	H BALANCE TO FINISH (C-G)	I RETAINAGE (IF VARIABLE) RATE
					FROM PREVIOUS APPLICATION	% (G / C2)					
APPLICATION AND CERTIFICATE FOR PAYMENT, containing Contractor's signed Certification, is attached. In tabulations below, amounts are stated to the nearest dollar. Use Column I on Contracts where variable retainage for line items may apply.											
APPLICATION NO.: APPLICATION DATE: - PERIOD TO: - PROJECT NO.: Blanche Ely HS											
01000.S	CONSTRUCTION										
02000.S	General Construction	\$ 239,154	\$ -	\$ 239,154	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 239,154	-
03000.S	Existing Conditions	\$ 985,570	\$ -	\$ 985,570	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 985,570	-
04000.S	Concrete	\$ 359,000	\$ -	\$ 359,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 359,000	-
05000.S	Masonry	\$ 229,000	\$ -	\$ 229,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 229,000	-
07000.S	Metals	\$ 338,500	\$ -	\$ 338,500	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 338,500	-
08000.S	Thermal and Moisture Protection	\$ 3,866,245	\$ -	\$ 3,866,245	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,866,245	-
09000.S	Openings	\$ 163,818	\$ -	\$ 163,818	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 163,818	-
10000.S	Finishes	\$ 501,715	\$ -	\$ 501,715	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 501,715	-
12000.S	Specialties	\$ 262,189	\$ -	\$ 262,189	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 262,189	-
14000.S	Furnishings	\$ 33,810	\$ -	\$ 33,810	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 33,810	-
15000.S	Conveying Systems	\$ 58,159	\$ -	\$ 58,159	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 58,159	-
16000.S	Mechanical	\$ 3,877,190	\$ -	\$ 3,877,190	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,877,190	-
	Electrical	\$ 493,998	\$ -	\$ 493,998	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 493,998	-
	Subtotal Construction Costs	\$ 11,408,348	\$ -	\$ 11,408,348	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 11,408,348	-
1900.010.M	GENERAL CONDITIONS										
	General Conditions	\$ 2,837,685	\$ -	\$ 2,837,685	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,837,685	-
	Subtotal General Conditions	\$ 2,837,685	\$ -	\$ 2,837,685	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,837,685	-
2000.100.GL	BONDS & INSURANCE										
	General Liability Insurance	\$ 179,920	\$ -	\$ 179,920	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 179,920	-
	Bonds	\$ 135,846	\$ -	\$ 135,846	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 135,846	-
	Subtotal Bonds & Insurance	\$ 315,766	\$ -	\$ 315,766	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 315,766	-
3000.300.1	ALLOWANCES										
	Building Department Plan Review Comments	\$ 450,000	\$ -	\$ 450,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 450,000	-
	STEM Lab and Media Center Renovations	\$ 1,215,885	\$ -	\$ 1,215,885	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,215,885	-
	STC Rating on Mechanical Room Doors	\$ 100,000	\$ -	\$ 100,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 100,000	-
	Covered Dining Area Electrical, Light Fixtures and Additional Roof Drains	\$ 200,000	\$ -	\$ 200,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 200,000	-
	Subtotal Allowances	\$ 1,500,000	\$ -	\$ 1,500,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,500,000	-
3000.300.5	CONSTRUCTION CONTINGENCY										
	Construction Contingency	\$ 761,012	\$ -	\$ 761,012	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 761,012	-
	Subtotal Construction Contingency	\$ 761,012	\$ -	\$ 761,012	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 761,012	-

**APPLICATION AND CERTIFICATE FOR PAYMENT,**

containing Contractor's signed Certification, is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO.:

APPLICATION DATE: -

PERIOD TO: -

PROJECT NO.: Blanche Ely HS

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	C1 CHANGES FROM ORIGINAL SCHEDULED VALUE	C2 REVISED SCHEDULED VALUE (C-C1)	D WORK COMPLETED		E THIS PERIOD	F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G TOTAL COMPLETED AND STORED TO DATE (D+E+F)	H BALANCE TO FINISH (C - G)	I RETAINAGE (IF VARIABLE) RATE
					FROM PREVIOUS APPLICATION	% (G / C2)					
5000.500.M	OVERHEAD & PROFIT Construction Manager Fee Subtotal Overhead & Profit	\$ 553,305 \$ 553,305	\$ - \$ -	\$ 553,305 \$ 553,305	\$ - \$ -	\$ - \$ -	\$ - \$ -	\$ - \$ -	\$ - \$ -	\$ 553,305 \$ 553,305	- -
		\$ 17,992,000	\$ -	\$ 17,992,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 17,992,000	-

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**Blanche Ely Senior High School SMART Project**  
**P.001646**

**Guaranteed Maximum Price Amendment No. 2**

**Attachment IV – Contract Documents – Salary and Wage Schedule**

*Construction Management ■ General Contracting ■ Design Build ■ Project Management*

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ATTACHMENT IV - CONTRACT DOCUMENTS - SALARY AND WAGES

March 28, 2018

BLANCHE ELY HIGH SCHOOL  
 BROWARD COUNTY SCHOOL DISTRICT  
 THE MORGANTI GROUP INC.

ITEM #	POSITION OR TITLE OF STAFF	UTILIZATION RATE	QTY IN MONTHS	UNIT PRICE	TOTAL LABOR	TOTAL w/ RATE
1	Cooper Project Executive / Jackie Cooper	0.20	18.00	\$ 13,347	\$48,049	\$66,135
2	Morganti Project General Superintendent / Joe Capraro	0.20	28.00	\$ 13,347	\$74,743	\$102,877
3	Morganti Project Manager / Jim Borelli	1.00	30.00	\$ 10,800	\$324,000	\$445,954
4	Morganti Superintendent # 1 / John Smith	1.00	30.00	\$ 10,800	\$324,000	\$445,954
5	Cooper Superintendent # 2 / TBD	1.00	25.00	\$ 10,800	\$270,000	\$371,628
6	Morganti Superintendent # 3 / TBD	1.00	21.00	\$ 9,500	\$199,500	\$274,592
7	Morganti Superintendent # 4 / TBD	1.00	21.00	\$ 9,500	\$199,500	\$274,592
8	Morganti Asst. Project Manager / Alicia Roa	1.00	27.00	\$ 7,600	\$205,200	\$282,437
9	Cooper Project Administrator / TBD	1.00	28.00	\$ 4,500	\$126,000	\$173,426
<b>SUBTOTAL</b>						<b>\$2,437,594</b>
					<b>TOTAL STAFF COSTS</b>	<b>\$2,437,594</b>

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**Blanche Ely Senior High School SMART Project**  
**P.001646**

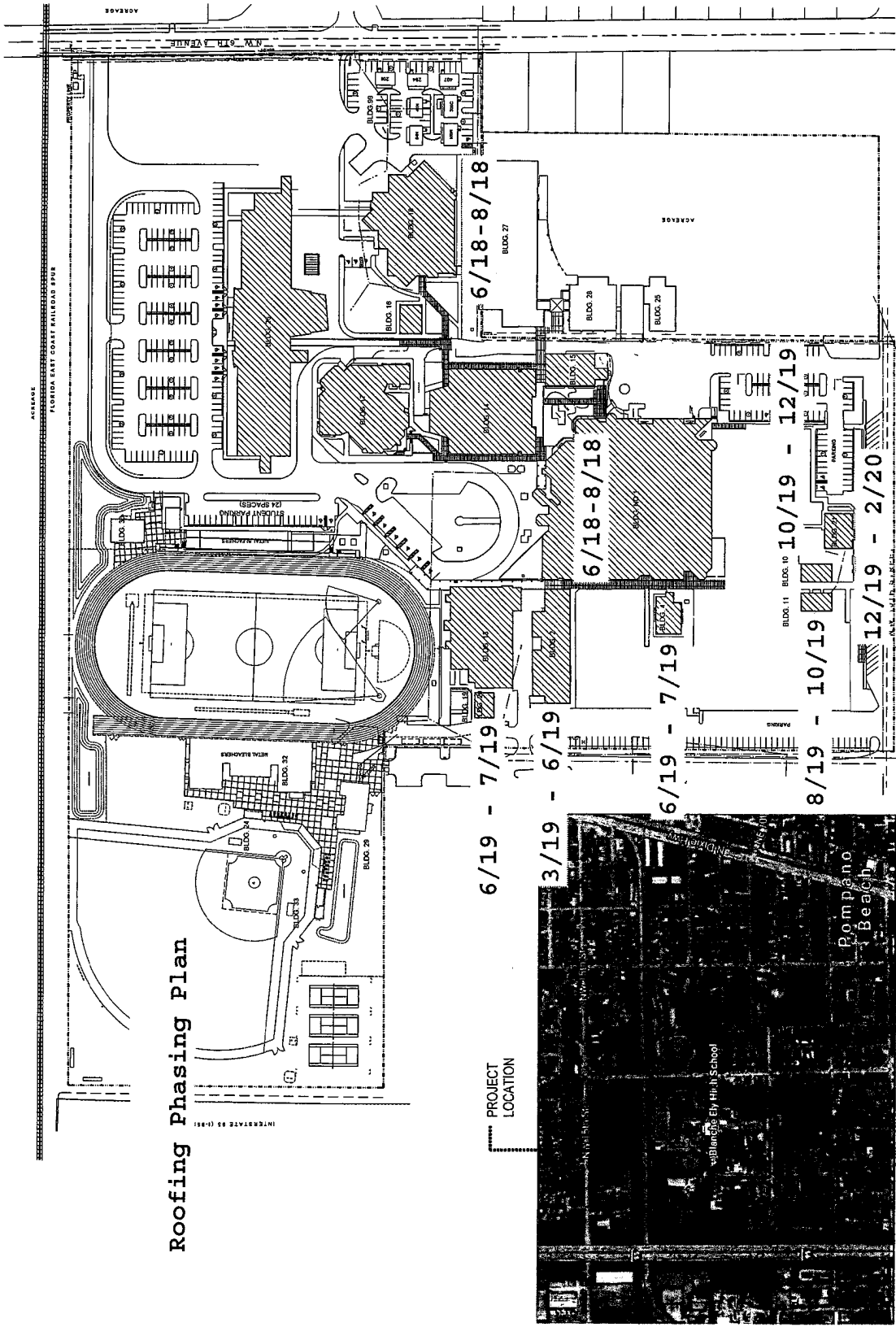
**Guaranteed Maximum Price Amendment No. 2**

**Attachment V – Contract Documents – The Construction Schedule**

*Construction Management ■ General Contracting ■ Design Build ■ Project Management*

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Attachment V - Contract Documents - The Construction Schedule



INDICATES BUILDINGS WITH SCOPE OF WORK UNDER THIS CONTRACT

AERIAL PHOTOGRAPH  
 SCALE: N.T.S.

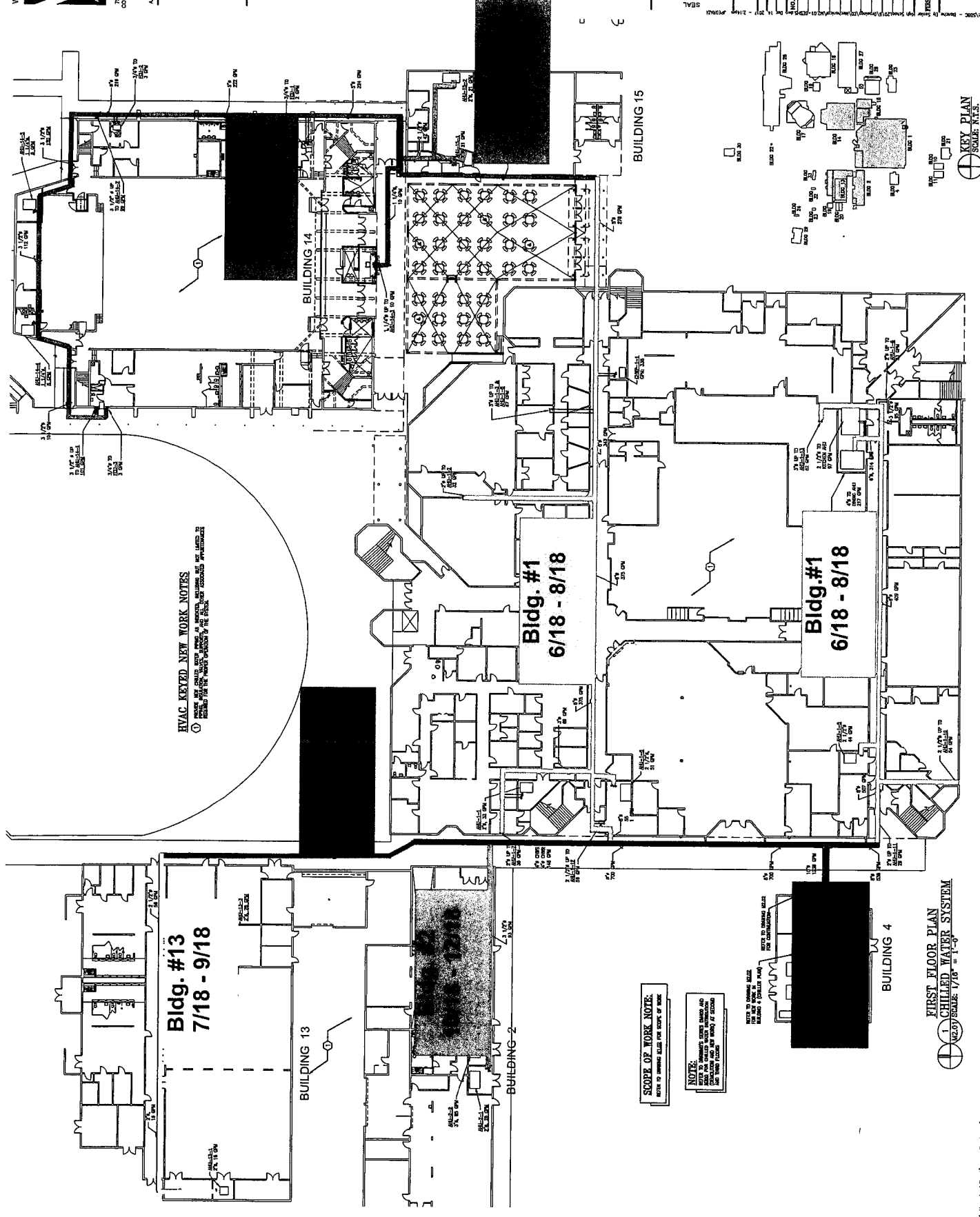
To the best of the Architect's or Engineer's knowledge, the plans and specifications comply with the applicable minimum codes and the applicable fire-safety standards as determined by the local authority in accordance with F.B.C. section 109 and Chapter 6.33, Florida Statutes.

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BLANCHE ELY HIGH SCHOOL  
 GENERAL OBLIGATION BOND RENOVATION PROJECT  
 1201 NW 6th AVENUE  
 POMPANO BEACH, FL 33060

DATE: 12/11/2017	ISSUE DATE
NO. 1	REVISION DATE
DRAWING TITLE	
FIRST FLOOR PLAN CHILLED WATER SYSTEM	
SHEET NUMBER	
M2.01	



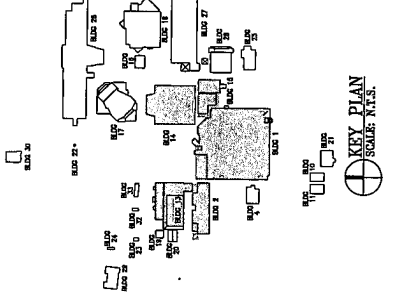
HVAC KEYED NEW WORK NOTES  
 1. ALL NEW WORK SHALL BE IDENTIFIED BY A KEYED SYMBOL AND SHOWN IN RED.  
 2. ALL EXISTING WORK SHALL BE IDENTIFIED BY A KEYED SYMBOL AND SHOWN IN BLACK.  
 3. ALL WORK SHALL BE IDENTIFIED BY A KEYED SYMBOL AND SHOWN IN BLACK.

SCOPE OF WORK NOTE:  
 REFER TO DRAWING 610 FOR SCOPE OF WORK

NOTE:  
 REFER TO DRAWING 610 FOR SCOPE OF WORK

REFER TO DRAWING 610 FOR SCOPE OF WORK

FIRST FLOOR PLAN  
 CHILLED WATER SYSTEM  
 SCALE: 1/16" = 1'-0"

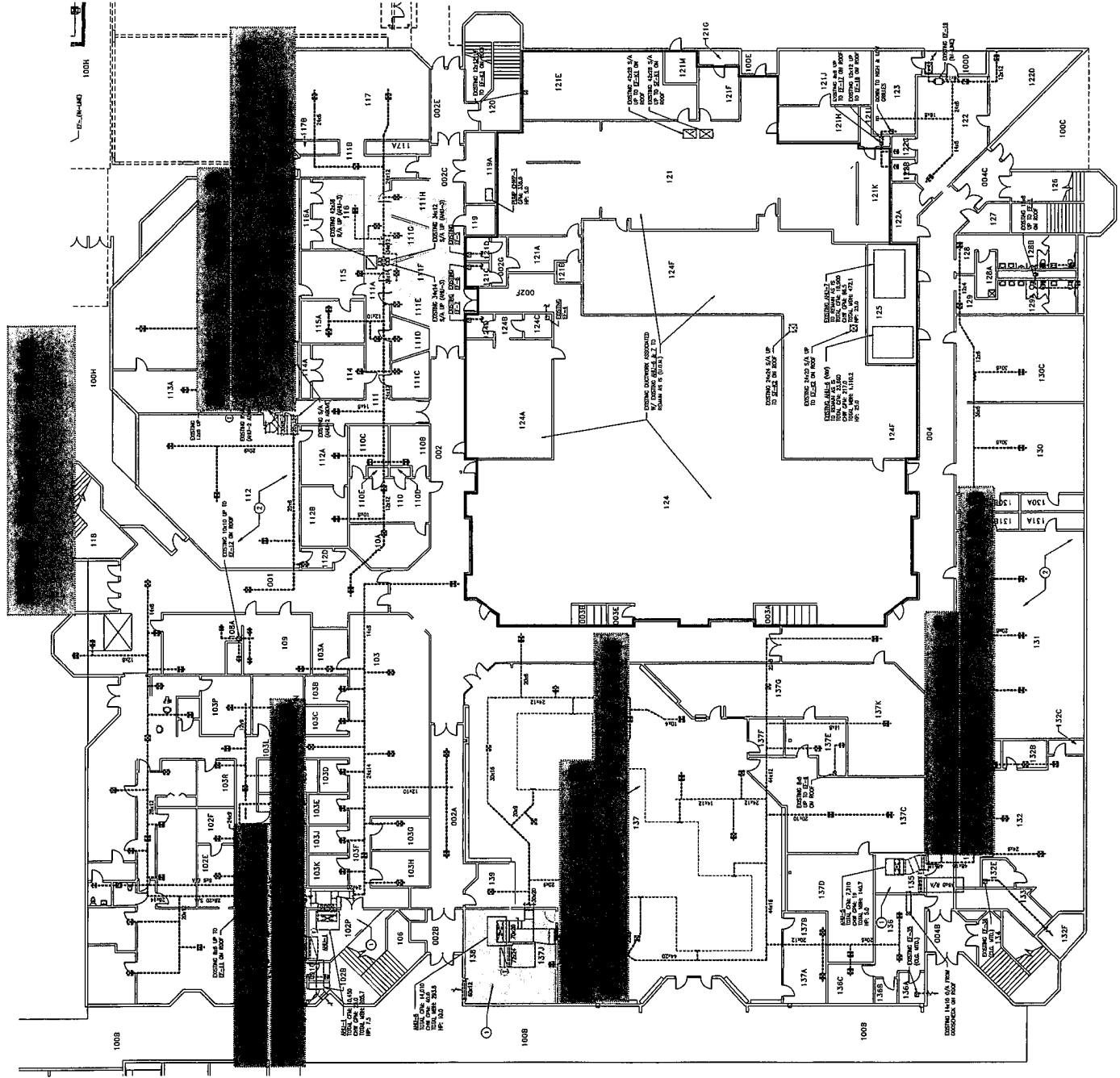


To the best of the Architect's or Engineer's knowledge, the plans and specifications comply with the applicable minimum codes and the applicable fire-safety standards as determined by the local authority in accordance with F.S.C. section 195 and Chapter 633, Florida Statutes.

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**BLANCHE ELY HIGH SCHOOL**  
 1201 NW 6th AVENUE  
 POMPANO BEACH, FL 33060

<b>50% SUBMITTAL</b>	
PROJECT NUMBER	1201 NW 6th Avenue
ISSUE DATE	06/29/2017
REVISION DATE	
PROJECT TITLE	GENERAL OBLIGATION BOND RENOVATION PROJECT
SHEET NUMBER	DM3.01
DRAWING TITLE	FIRST FLOOR PLAN
DESCRIPTION	BUILD 1 HVAC DEMOLITION



**HWAC KEYED DEMOLITION NOTES**  
 1 DEMOLISH EXISTING CENTRAL AIR UNIT (CAU) HANGING CEILING WITH AN AIRING UNIT TO BE DEMOLISHED AND HANGING CEILING TO REMAIN IN PLACE. DEMOLITION TO BE COMPLETED WITHIN 10 BUSINESS DAYS OF START DATE. DEMOLITION TO BE COMPLETED WITHIN 10 BUSINESS DAYS OF START DATE.  
 2 DEMOLISH EXISTING AIR CONDITIONING SYSTEM. DEMOLITION TO BE COMPLETED WITHIN 10 BUSINESS DAYS OF START DATE. DEMOLITION TO BE COMPLETED WITHIN 10 BUSINESS DAYS OF START DATE.

**SCOPE OF WORK NOTE:**  
 REFER TO DEMOLITION PLAN FOR SCOPE OF WORK

**FIRST FLOOR PLAN BLDG 1**  
 (PLSD) SCALE: 3/32" = 1'-0"

To the best of the Architect's or Engineer's knowledge, the plans and specifications comply with the applicable minimum codes and the applicable fire-safety standards as determined by the local authority in accordance with F.B.C. section 109 and Chapter 633, Florida Statutes.

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# DRAFT

**WOLFERG ALVAREZ**

ARCHITECTURE ENGINEERING  
 2225 AVANTION AVE. SUITE 400  
 MIAMI, FL 33198  
 V 305.556.5474  
 F 305.556.5472  
 WWW.WALVAREZ.COM  
 AIA 000413  
 AIA 000556  
 EB 000556

**BROWARD COUNTY  
 PUBLIC SCHOOLS**

S250 PROJECT  
 No. P101046

**BLANCHE ELY HIGH SCHOOL  
 GENERAL OBLIGATION BOND RENOVATION PROJECT  
 1201 NW 8th AVENUE  
 POMPANO BEACH, FL 33060**

**50% SUBMITTAL**

CHECK REVISION # 2.4  
 REV. NO. 10/16/18  
 REV. DATE 10/16/18

ISSUE DATE

PROJECT/ISSUE DATE

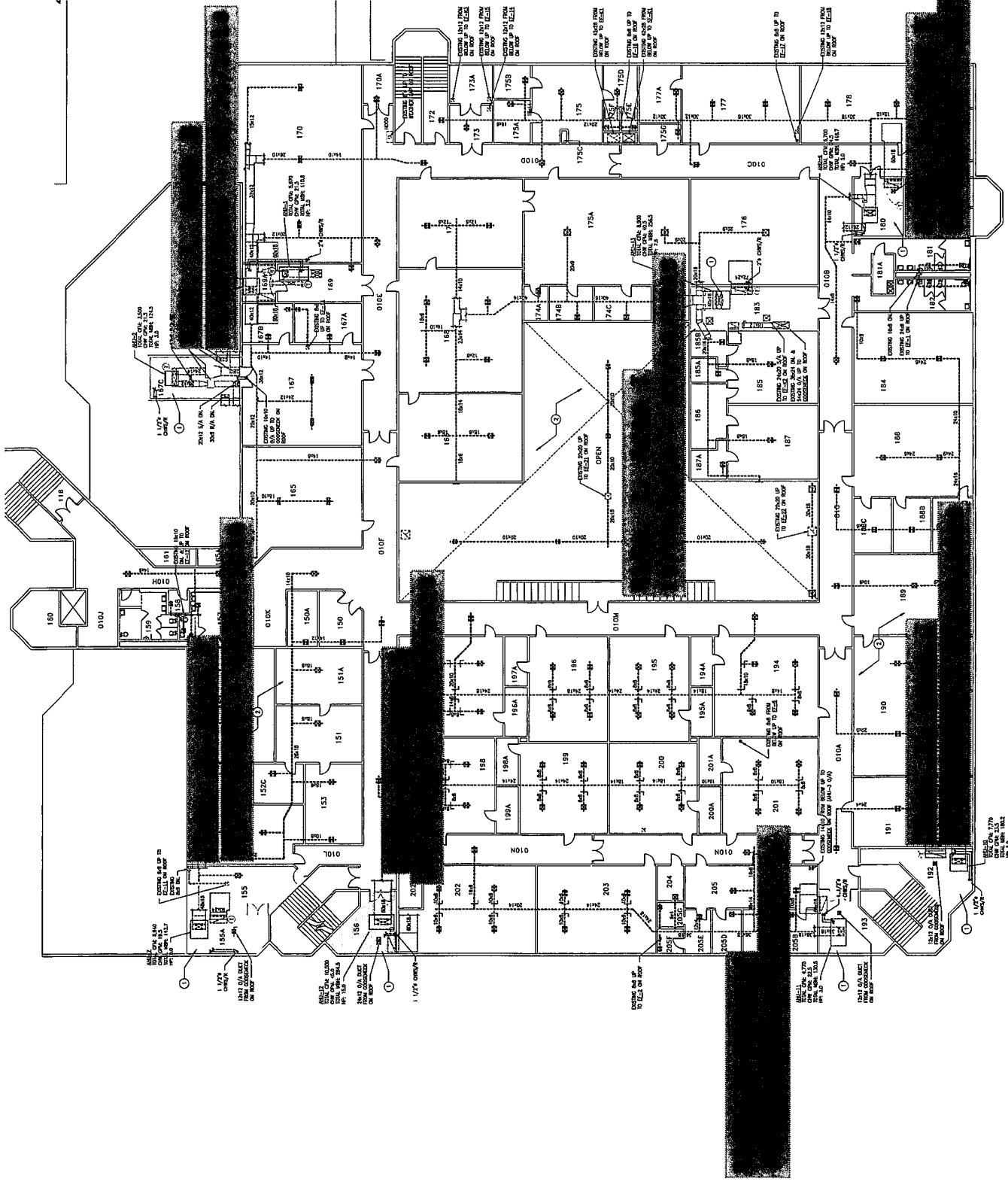
ISSUE DATE

REVISION DATE

PREPARED BY  
 DRAWN BY  
 CHECKED BY  
 IN CHARGE

REVISIONS TITLE  
 SECOND FLOOR PLAN BLDG 1  
 HVAC DEMOLITION

SHEET NUMBER  
**DM3.02**



- 1. REMOVE ALL EXISTING HVAC SYSTEMS INCLUDING BUT NOT LIMITED TO: DISCONNECT, UNHOOK, REMOVE, AND DEMOLISH ALL HVAC SYSTEMS INCLUDING BUT NOT LIMITED TO: CONDENSERS, COILS, DUCTWORK, AND EXHAUST SYSTEMS IN THE AREAS INDICATED BY THE HATCHED PATTERNS.
- 2. REMOVE ALL EXISTING CONDENSERS, COILS, AND EXHAUST SYSTEMS IN THE AREAS INDICATED BY THE HATCHED PATTERNS.
- 3. REMOVE ALL EXISTING CONDENSERS, COILS, AND EXHAUST SYSTEMS IN THE AREAS INDICATED BY THE HATCHED PATTERNS.
- 4. REMOVE ALL EXISTING CONDENSERS, COILS, AND EXHAUST SYSTEMS IN THE AREAS INDICATED BY THE HATCHED PATTERNS.
- 5. REMOVE ALL EXISTING CONDENSERS, COILS, AND EXHAUST SYSTEMS IN THE AREAS INDICATED BY THE HATCHED PATTERNS.
- 6. REMOVE ALL EXISTING CONDENSERS, COILS, AND EXHAUST SYSTEMS IN THE AREAS INDICATED BY THE HATCHED PATTERNS.

**SCOPE OF WORK NOTE:**  
 REFER TO DRAWING SHEET FOR SCOPE OF WORK

KEY PLAN  
 SCALE: N.T.S.

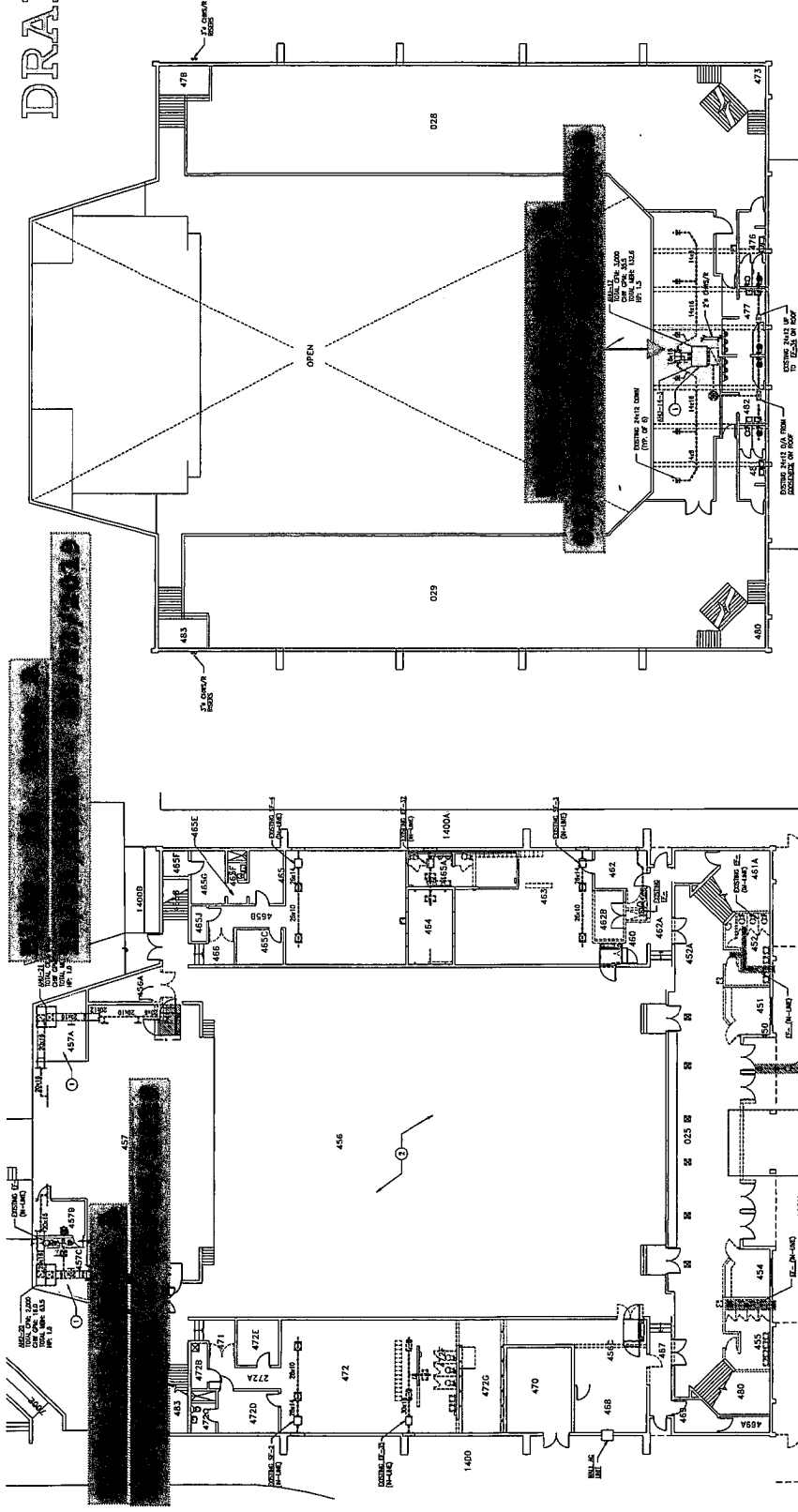
**1. SECOND FLOOR PLAN BLDG 1 DEMOLITION**  
 MAJOR SCALE: 3/32" = 1'-0"

To the best of the Architect's or Engineer's knowledge, the plans and specifications comply with the applicable minimum codes and the applicable fire-safety standards as determined by the local authority in accordance with F.B.C. section 109 and Chapter 633, Florida Statutes.

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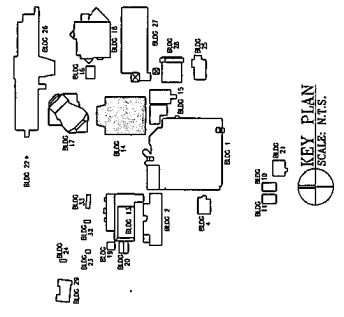
1. FIRST FLOOR PLAN BLDG 14 HVAC DEMOLITION  
SCALE: 3/32" = 1'-0"

2. SECOND FLOOR PLAN BLDG 14 HVAC DEMOLITION  
SCALE: 3/32" = 1'-0"

SCOPE OF WORK NOTE:  
REFER TO DRAWING BLDG FOR SCOPE OF WORK

HVAC KEYED DEMOLITION NOTES

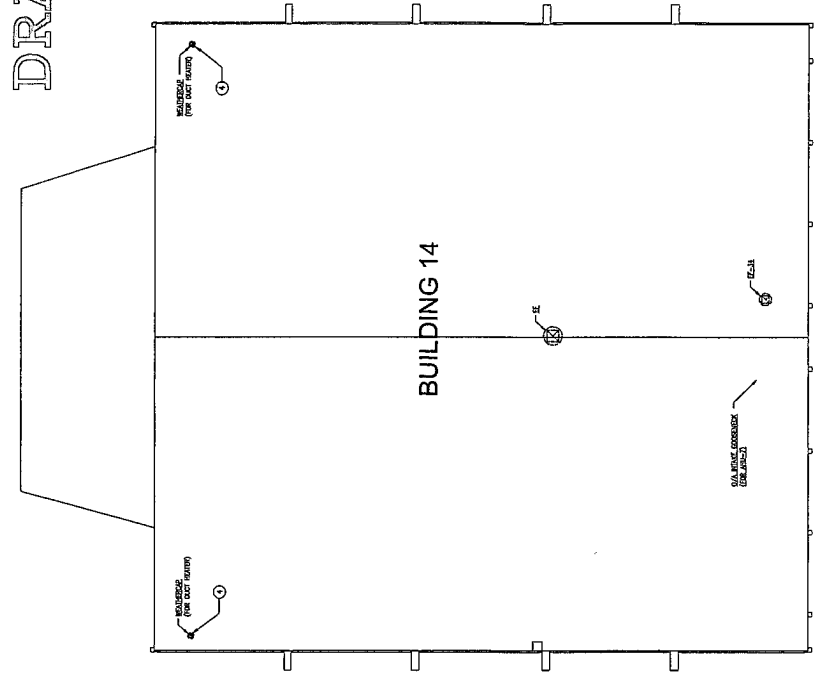
1. REMOVE EXISTING ROOF STRUCTURE AND ALL MECHANICAL EQUIPMENT TO BE DEMOLISHED. THE EXISTING ROOF STRUCTURE SHALL BE DEMOLISHED TO THE EXISTING ROOF DECK. THE EXISTING ROOF DECK SHALL BE DEMOLISHED TO THE EXISTING ROOF DECK. THE EXISTING ROOF DECK SHALL BE DEMOLISHED TO THE EXISTING ROOF DECK.
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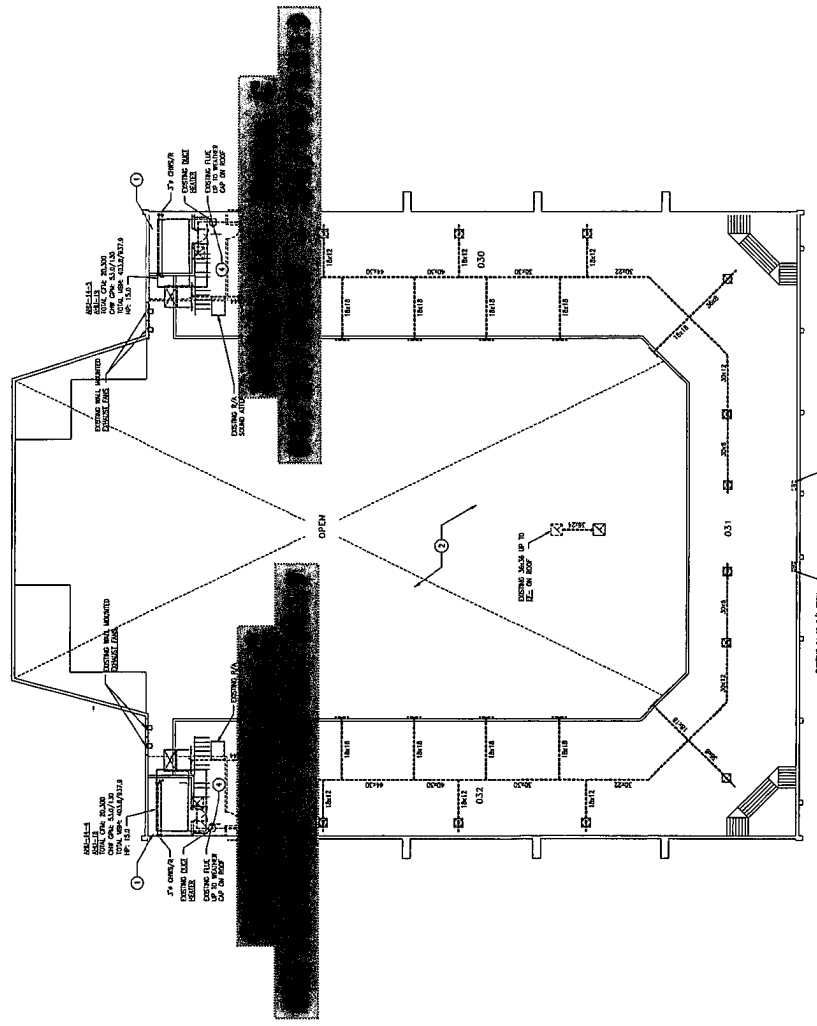
KEY PLAN  
SCALE: 1/8" = 1'-0"

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2. ROOF PLAN BLDG 14 HVAC DEMOLITION  
 M.A.L.05 SCALE: 3/32" = 1'-0"

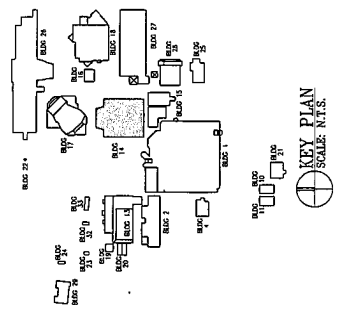


1. THIRD FLOOR PLAN BLDG 14 HVAC DEMOLITION  
 M.A.L.05 SCALE: 3/32" = 1'-0"

SCOPE OF WORK NOTE:  
 REFER TO DRAWING BLDG 14 FOR SCOPE OF WORK

HVAC KEYED DEMOLITION NOTES

1. REMOVE EXISTING ROOF TOP AIR HANDLING UNITS AS SHOWN ON THIS PLAN. REMOVE EXISTING ROOF TOP AIR HANDLING UNITS AS SHOWN ON THIS PLAN. REMOVE EXISTING ROOF TOP AIR HANDLING UNITS AS SHOWN ON THIS PLAN.
2. REMOVE EXISTING ROOF TOP AIR HANDLING UNITS AS SHOWN ON THIS PLAN. REMOVE EXISTING ROOF TOP AIR HANDLING UNITS AS SHOWN ON THIS PLAN. REMOVE EXISTING ROOF TOP AIR HANDLING UNITS AS SHOWN ON THIS PLAN.
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KEY PLAN  
 SCALE: N.T.S.

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BLANCHE ELY HIGH SCHOOL  
 1201 NW 6th AVENUE  
 POMPANO BEACH, FL 33060  
 GENERAL OBLIGATION BOND RENOVATION PROJECT

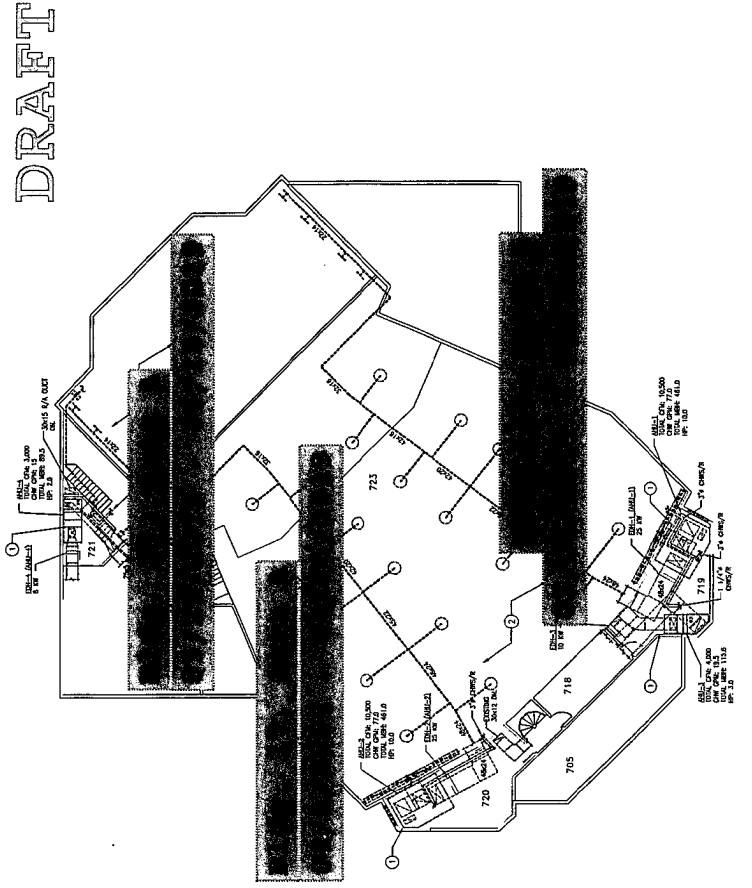
**50% SUMMARY**

NO.	REVISION	DATE

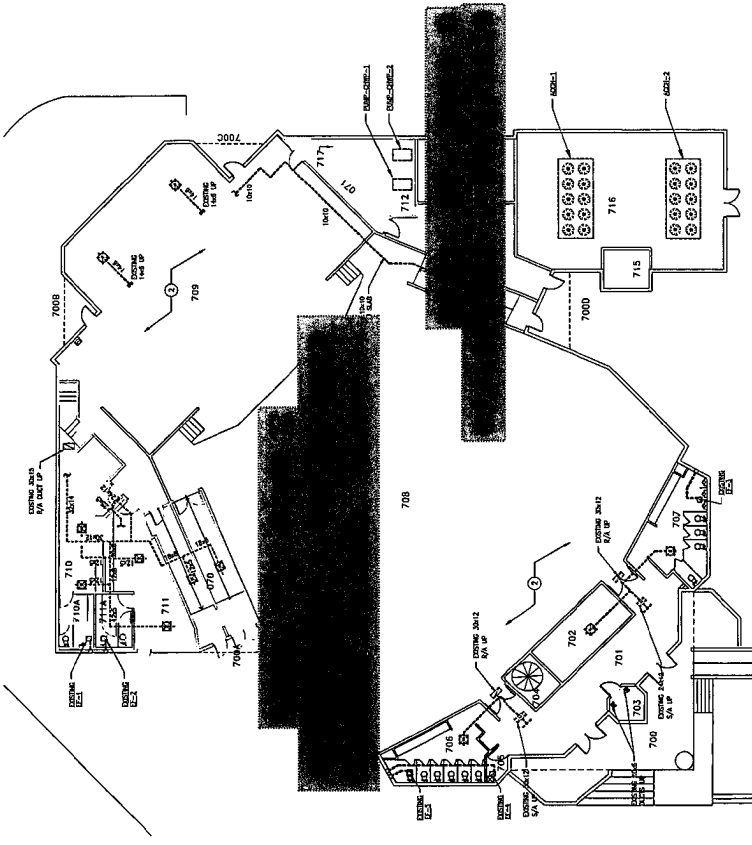
ISSUE DATE: 03/03/07  
 REVISION DATE:  

DRAWING TITLE  
 FIRST & SECOND FLOOR  
 BLDG 17 HVAC DEMOLITION  
 SHEET NUMBER  
**DM3.06**

DATE PLOTTED:    
 PLOTTER:  

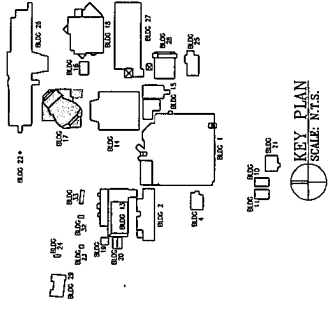


2 SECOND FLOOR PLAN BLDG 17  
 ANA, 09 SCALE: 3/32" = 1'-0"



1 FIRST FLOOR PLAN BLDG 17  
 ANA, 09 SCALE: 3/32" = 1'-0"

**SCOPE OF WORK NOTES:**  
 REFER TO GENERAL BIDDING FOR SCOPE OF WORK



KEY PLAN  
 SCALE: N.T.S.

**HVAC KEYED DEMOLITION NOTES**

- 1 REMOVE EXISTING CONDENSATE PIPES FROM MERVETS CEILING TRAYS AS INDICATED ON THIS PLAN. REMOVE CONDENSATE TRAYS FROM THE EXISTING CEILING TRAYS AND DISPOSE OF THEM AT THE LOCAL AUTHORITY'S DISPOSAL FACILITY.
- 2 REMOVE EXISTING CONDENSATE PIPES FROM THE EXISTING TRAYS AT THE LOCAL AUTHORITY'S DISPOSAL FACILITY. REMOVE CONDENSATE TRAYS FROM THE EXISTING TRAYS AND DISPOSE OF THEM AT THE LOCAL AUTHORITY'S DISPOSAL FACILITY.
- 3 REMOVE EXISTING CONDENSATE PIPES FROM THE EXISTING TRAYS AT THE LOCAL AUTHORITY'S DISPOSAL FACILITY. REMOVE CONDENSATE TRAYS FROM THE EXISTING TRAYS AND DISPOSE OF THEM AT THE LOCAL AUTHORITY'S DISPOSAL FACILITY.
- 4 REMOVE EXISTING CONDENSATE PIPES FROM THE EXISTING TRAYS AT THE LOCAL AUTHORITY'S DISPOSAL FACILITY. REMOVE CONDENSATE TRAYS FROM THE EXISTING TRAYS AND DISPOSE OF THEM AT THE LOCAL AUTHORITY'S DISPOSAL FACILITY.

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GENERAL OBLIGATION BOND RENOVATION PROJECT  
BLANCHE ELY HIGH SCHOOL  
1201 NW 6th AVENUE  
POMPANO BEACH, FL 33060

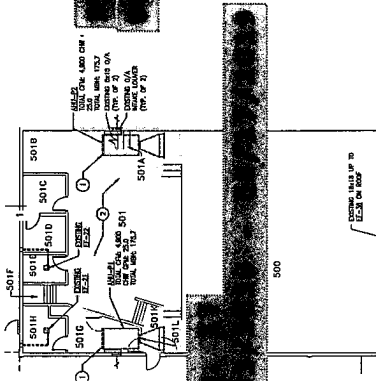
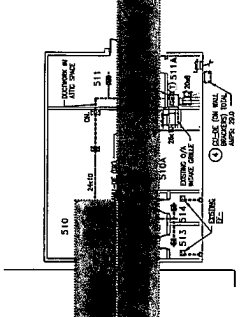
50% SUBMITTAL

DATE PREPARED: 11/21/20  
DATE CHECKED: 11/21/20  
DATE ISSUED: 11/21/20  
DATE REVISION DATE: 11/21/20

NO.	DATE	DESCRIPTION

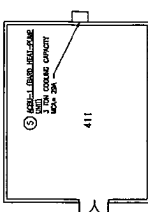
DRAWING TITLE:  
FIRST FLOOR PLAN BLDG 2  
63.15.16.30 DEMOLITION

SHEET NUMBER:  
DM3.07



1. FIRST FLOOR PLAN BLDG 15  
SCALE: 3/32" = 1'-0"

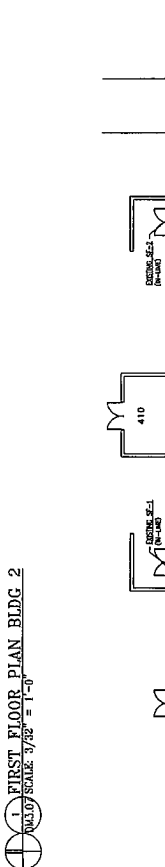
2. FIRST FLOOR PLAN BLDG 16  
SCALE: 3/32" = 1'-0"



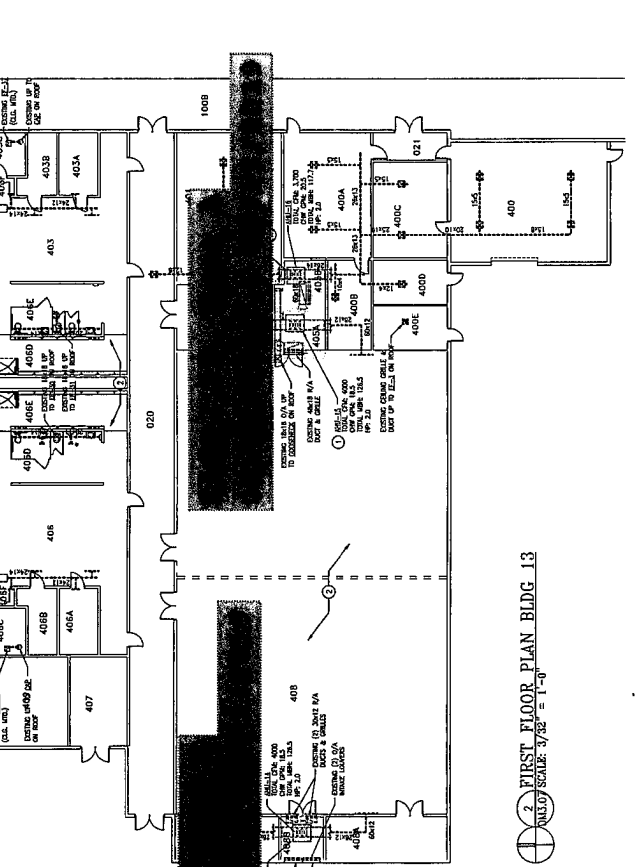
3. FIRST FLOOR PLAN BLDG 20  
SCALE: 3/32" = 1'-0"



4. FIRST FLOOR PLAN BLDG 13  
SCALE: 3/32" = 1'-0"



5. FIRST FLOOR PLAN BLDG 2  
SCALE: 3/32" = 1'-0"

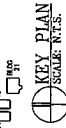
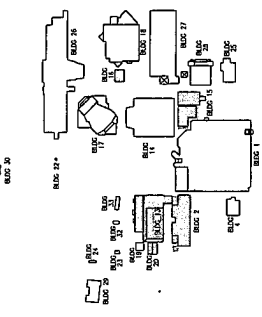


6. FIRST FLOOR PLAN BLDG 1  
SCALE: 3/32" = 1'-0"

**HVAC KEVED DEMOLITION NOTES**

- REMOVE EXISTING EXTERIOR WALL AND ALL MATERIALS TO BE DEMOLISHED AS INDICATED ON THIS PLAN. DEMOLITION TO BE PERFORMED AS SHOWN ON THIS PLAN. DEMOLITION TO BE PERFORMED IN ACCORDANCE WITH THE APPROPRIATE FLORIDA BUILDING CODES AND THE FLORIDA MECHANICAL CODE.
- REMOVE EXISTING EXTERIOR WALL AND ALL MATERIALS TO BE DEMOLISHED AS INDICATED ON THIS PLAN. DEMOLITION TO BE PERFORMED AS SHOWN ON THIS PLAN. DEMOLITION TO BE PERFORMED IN ACCORDANCE WITH THE APPROPRIATE FLORIDA BUILDING CODES AND THE FLORIDA MECHANICAL CODE.
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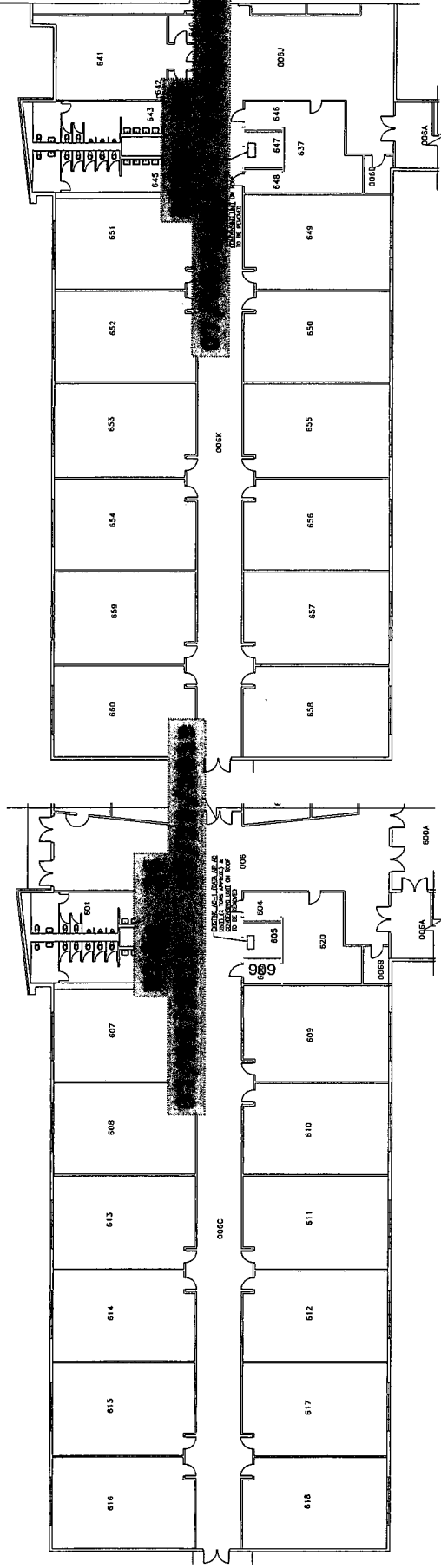
SCALE OF WORK NOTE:  
TOP IS SHOWN BASE THE SCALE OF PLAN.



KEY PLAN  
SCALE: N.T.S.

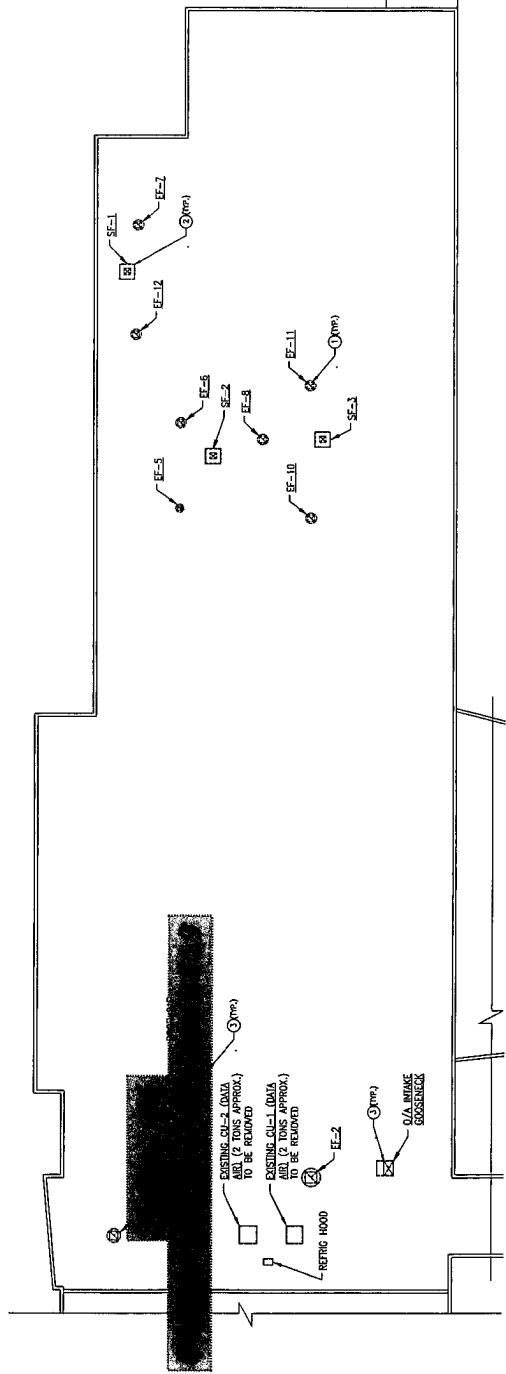
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DRAFT



1. PARTIAL FIRST FLOOR PLAN BLDG 26 HVAC DEMOLITION  
 MAX SCALE: 3/32" = 1'-0"

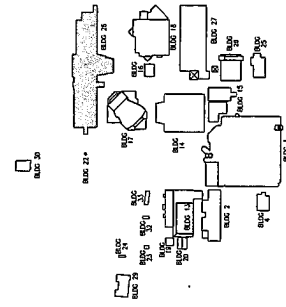
2. PARTIAL SECOND FLOOR PLAN BLDG 26 HVAC DEMOLITION  
 MAX SCALE: 3/32" = 1'-0"



3. PARTIAL ROOF PLAN BLDG 26 HVAC DEMOLITION  
 MAX SCALE: 3/32" = 1'-0"

- HVAC KEYED DEMOLITION NOTES**
- REMOVE EXISTING ROOF MOUNTED UNIT, REMOVE EXISTING ROOF CURB.
  - REMOVE EXISTING ROOF MOUNTED MAKE-UP AIR UNIT, REMOVE EXISTING ROOF CURB.
  - REMOVE EXISTING ROOF CURB AND MAKE-UP AIR UNIT, REMOVE EXISTING ROOF CURB.

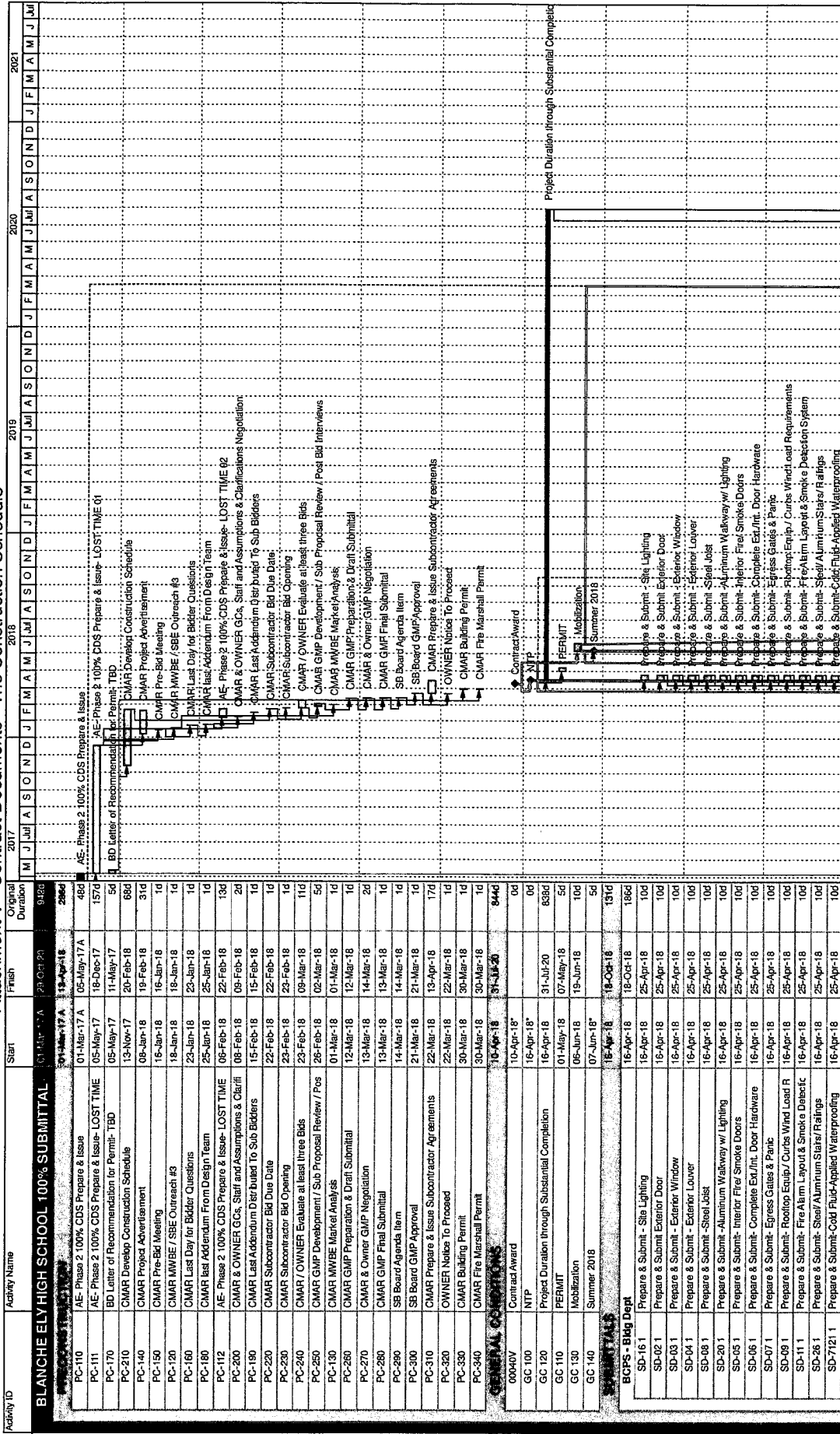
**SCOPE OF WORK NOTE:**  
 REFER TO DRAWING SHEETS FOR SCOPE OF WORK



**KEY PLAN**  
 SCALE: N.T.S.

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# Attachment V - Contract Documents - The Construction Schedule



Remaining Level of Effort  
 Actual Level of Effort  
 Actual Work  
 Remaining Work  
 Critical Remaining Work



BLANCHE ELY HIGH SCHOOL 100% SUBMITTAL - PHASE 2  
 Morganti - Preliminary Schedule

02-Apr-18

Page 1 of 34  
 Data Date 05-May-17



Activity ID, Activity Name, Start, Finish, Original Duration, 2017 (M, J, J, A, S, O, N, D, J, F, M, A, M, J, J, A, S, O, N, D), 2018 (M, J, J, A, S, O, N, D, J, F, M, A, M, J, J, A, S, O, N, D), 2019 (M, J, J, A, S, O, N, D, J, F, M, A, M, J, J, A, S, O, N, D), 2020 (M, J, J, A, S, O, N, D, J, F, M, A, M, J, J, A, S, O, N, D), 2021 (M, J, J, A, S, O, N, D, J, F, M, A, M, J, J, A, S, O, N, D)



02-Apr-18

BLANCHE ELY HIGH SCHOOL, 100% SUBMITTAL - PHASE 2

Morganti - Preliminary Schedule

Page 3 of 34
Data Date 05-May-17

- Remaining Level of Effort
Actual Level of Effort
Actual Work
Remaining Work
Critical Remaining Work



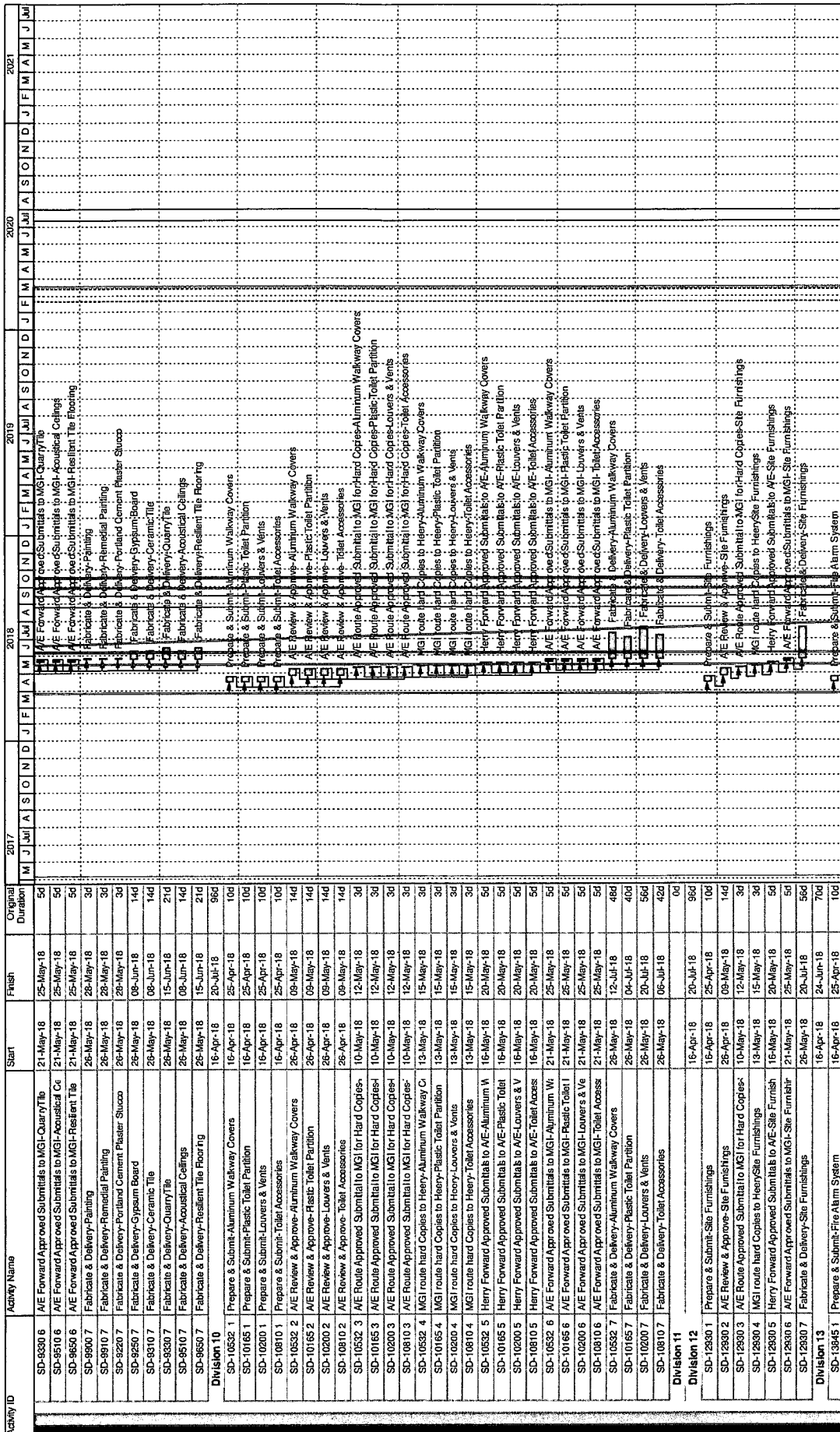












Activity ID	Activity Name	Start	Finish	Original Duration
SD-9300 6	A/E Forward Approved Submittals to MGI-Quarry Tile	21-May-18	25-May-18	5d
SD-9510 6	A/E Forward Approved Submittals to MGI-Acoustical Ceilings	21-May-18	25-May-18	5d
SD-9650 6	A/E Forward Approved Submittals to MGI-Resilient Tile Flooring	21-May-18	25-May-18	5d
SD-9900 7	Fabricate & Delivery-Painting	28-May-18	28-May-18	3d
SD-9910 7	Fabricate & Delivery-Remedial Painting	28-May-18	28-May-18	3d
SD-9200 7	Fabricate & Delivery-Portland Cement Plaster Stucco	28-May-18	28-May-18	3d
SD-9250 7	Fabricate & Delivery-Gypsum Board	08-Jun-18	08-Jun-18	14d
SD-9310 7	Fabricate & Delivery-Ceramic Tile	08-Jun-18	08-Jun-18	14d
SD-9300 7	Fabricate & Delivery-Quarry Tile	15-Jun-18	15-Jun-18	21d
SD-9510 7	Fabricate & Delivery-Acoustical Ceilings	08-Jun-18	08-Jun-18	14d
SD-9650 7	Fabricate & Delivery-Resilient Tile Flooring	15-Jun-18	15-Jun-18	21d
<b>Division 10</b>				
SD-10532 1	Prepare & Submit-Aluminum Walkway Covers	16-Apr-18	20-Jul-18	96d
SD-10165 1	Prepare & Submit-Plastic Toilet Partition	16-Apr-18	25-Apr-18	10d
SD-10200 1	Prepare & Submit-Louvers & Vents	16-Apr-18	25-Apr-18	10d
SD-10810 1	Prepare & Submit-Toilet Accessories	16-Apr-18	25-Apr-18	10d
SD-10532 2	A/E Review & Approve-Aluminum Walkway Covers	26-Apr-18	09-May-18	14d
SD-10165 2	A/E Review & Approve-Plastic Toilet Partition	26-Apr-18	09-May-18	14d
SD-10200 2	A/E Review & Approve-Louvers & Vents	26-Apr-18	09-May-18	14d
SD-10810 2	A/E Review & Approve-Toilet Accessories	26-Apr-18	09-May-18	14d
SD-10165 3	A/E Route Approved Submittal to MGI for Hard Copres	10-May-18	12-May-18	3d
SD-10200 3	A/E Route Approved Submittal to MGI for Hard Copres	10-May-18	12-May-18	3d
SD-10810 3	A/E Route Approved Submittal to MGI for Hard Copres	10-May-18	12-May-18	3d
SD-10532 4	MGI route hard Copies to Heery-Aluminum Walkway C	13-May-18	15-May-18	3d
SD-10165 4	MGI route hard Copies to Heery-Plastic Toilet Partition	13-May-18	15-May-18	3d
SD-10200 4	MGI route hard Copies to Heery-Louvers & Vents	13-May-18	15-May-18	3d
SD-10810 4	MGI route hard Copies to Heery-Toilet Accessories	13-May-18	15-May-18	3d
SD-10532 5	Heery Forward Approved Submittals to A/E-Aluminum W	16-May-18	20-May-18	5d
SD-10165 5	Heery Forward Approved Submittals to A/E-Plastic Toilet	16-May-18	20-May-18	5d
SD-10200 5	Heery Forward Approved Submittals to A/E-Louvers & V	16-May-18	20-May-18	5d
SD-10532 6	A/E Forward Approved Submittals to MGI-Aluminum Wk	21-May-18	25-May-18	5d
SD-10165 6	A/E Forward Approved Submittals to MGI-Plastic Toilet I	21-May-18	25-May-18	5d
SD-10200 6	A/E Forward Approved Submittals to MGI-Louvers & Ve	21-May-18	25-May-18	5d
SD-10810 6	A/E Forward Approved Submittals to MGI-Toilet Access	21-May-18	25-May-18	5d
SD-10532 7	Fabricate & Delivery-Aluminum Walkway Covers	28-May-18	12-Jul-18	48d
SD-10165 7	Fabricate & Delivery-Plastic Toilet Partition	28-May-18	04-Jul-18	40d
SD-10200 7	Fabricate & Delivery-Louvers & Vents	28-May-18	20-Jul-18	56d
SD-10810 7	Fabricate & Delivery-Toilet Accessories	28-May-18	06-Jul-18	42d
<b>Division 11</b>				
SD-12830 1	Prepare & Submit-Site Furnishings	16-Apr-18	20-Jul-18	96d
SD-12830 2	A/E Review & Approve-Site Furnishings	16-Apr-18	25-Apr-18	10d
SD-12830 3	A/E Route Approved Submittal to MGI for Hard Copres	10-May-18	12-May-18	3d
SD-12830 4	MGI route hard Copies to Heery-Site Furnishings	13-May-18	15-May-18	3d
SD-12830 5	Heery Forward Approved Submittals to A/E-Site Furnish	16-May-18	20-May-18	5d
SD-12830 6	A/E Forward Approved Submittals to MGI-Site Furnish	21-May-18	25-May-18	5d
SD-12830 7	Fabricate & Delivery-Site Furnishings	28-May-18	20-Jul-18	56d
SD-13845 1	Prepare & Submit-Fire Alarm System	16-Apr-18	25-Apr-18	10d

Remaining Level of Effort    ♦ Milestones  
 Actual Level of Effort  
 Actual Work  
 Remaining Work  
 Critical Remaining Work



BLANCHE ELY HIGH SCHOOL 100% SUBMITTAL - PHASE 2  
 Morganti - Preliminary Schedule  
 Page 9 of 34  
 Data Date 05-May-17

02-Apr-18

Activity ID, Activity Name, Start, Finish, Duration, Gantt chart for 2017-2021 with activity descriptions and dates.

MORGANTI A SOLID FOUNDATION
BLANCHE ELY HIGH SCHOOL 100% SUBMITTAL - PHASE 2
Morganti - Preliminary Schedule
Page 10 of 34
Data Date 05-May-17





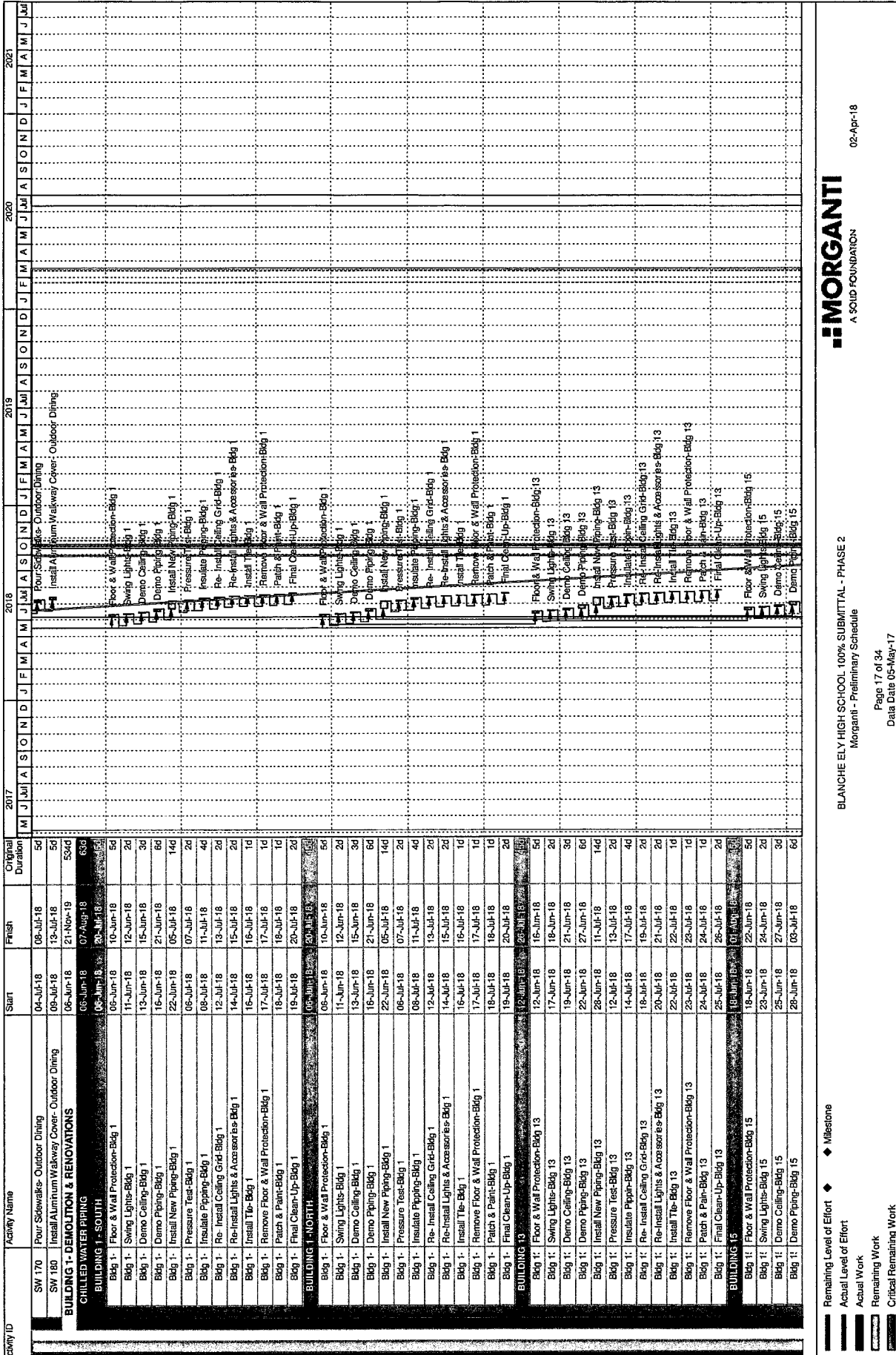




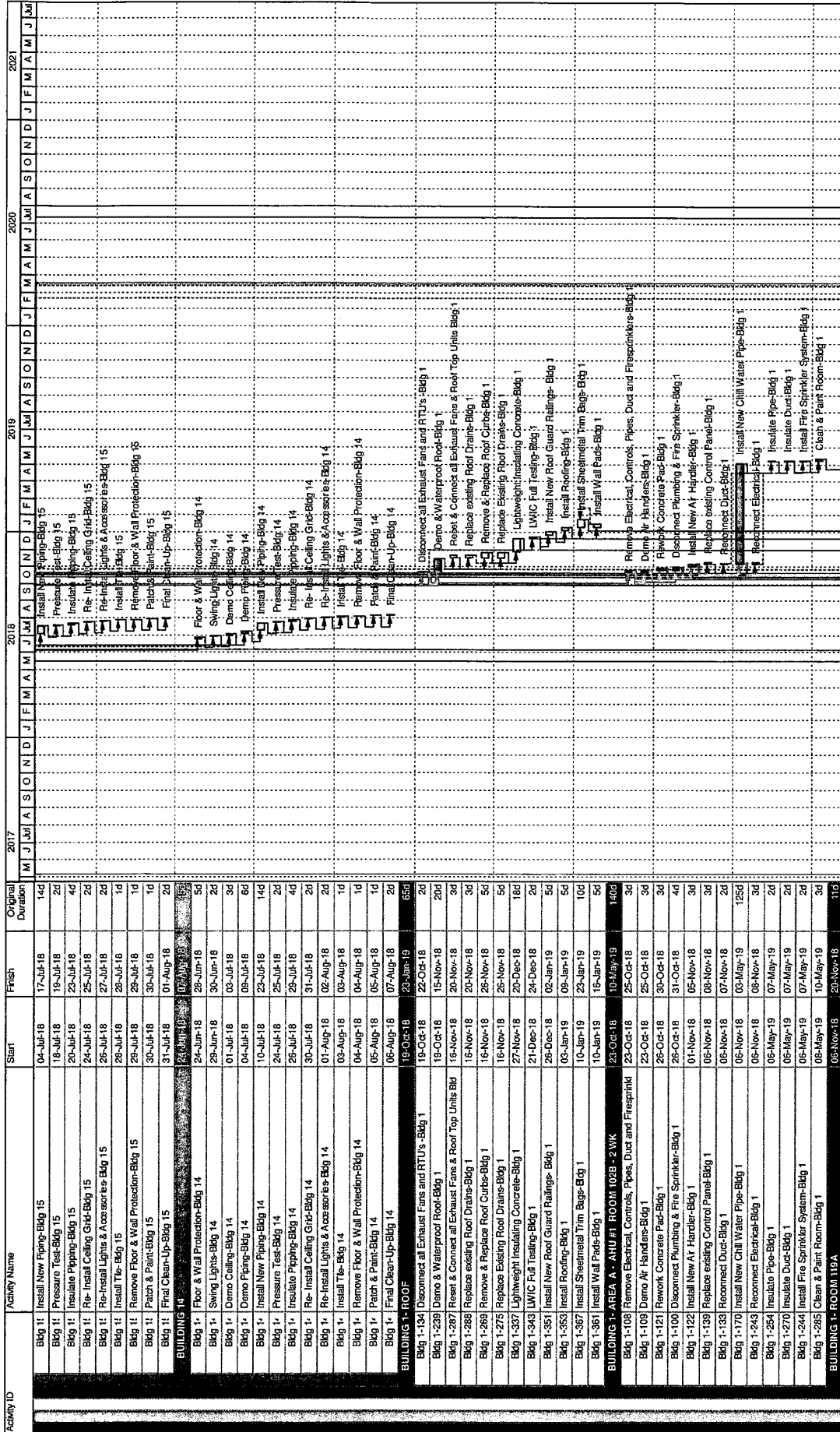








◆ Milestone  
 ■ Actual Level of Effort  
 ■ Actual Work  
 ■ Remaining Work  
 ■ Critical Remaining Work

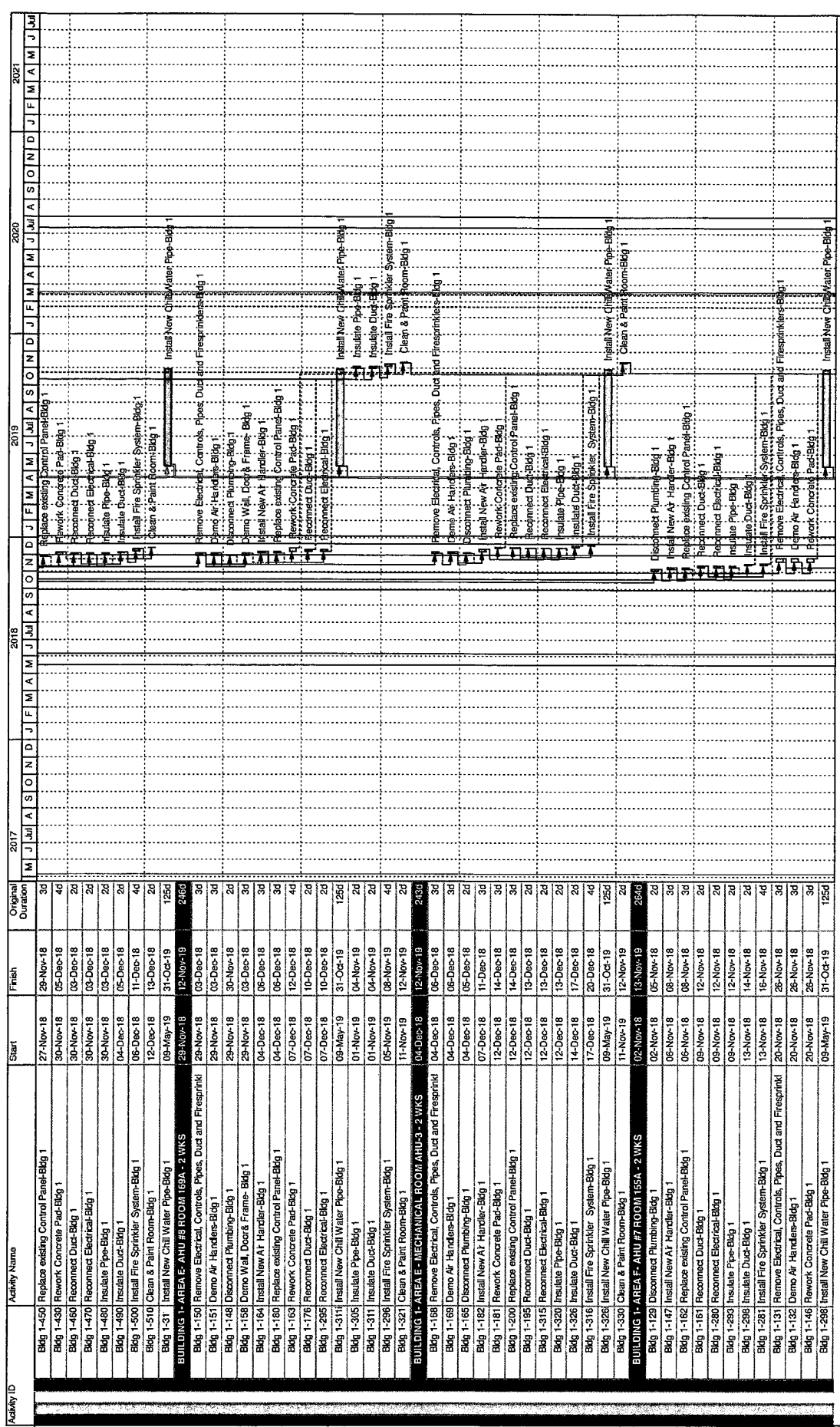


Activity ID	Activity Name	Start	Finish	Original Duration
Bkg 11	Install New Piping-Bkg 15	04-Jul-18	17-Jul-18	14d
Bkg 12	Pressure Test-Bkg 15	18-Jul-18	19-Jul-18	2d
Bkg 13	Insulate Piping-Bkg 15	20-Jul-18	23-Jul-18	4d
Bkg 14	Re-Install Ceiling Grid-Bkg 15	24-Jul-18	25-Jul-18	2d
Bkg 15	Re-Install Lights & Accessories-Bkg 15	26-Jul-18	27-Jul-18	2d
Bkg 16	Install Tls-Bkg 15	28-Jul-18	29-Jul-18	1d
Bkg 17	Remove Floor & Wall Protection-Bkg 15	29-Jul-18	30-Jul-18	1d
Bkg 18	Patch & Paint-Bkg 15	30-Jul-18	30-Jul-18	1d
Bkg 19	Final Clean-Up-Bkg 15	31-Jul-18	01-Aug-18	2d
<b>BUILDING 11 - ROOM 119A</b>				
Bkg 1	Floor & Wall Protection-Bkg 14	24-Jun-18	26-Jun-18	5d
Bkg 2	Remove Existing Piping-Bkg 14	28-Jun-18	03-Jul-18	6d
Bkg 3	Demo Ceiling-Bkg 14	01-Jul-18	03-Jul-18	3d
Bkg 4	Demo Piping-Bkg 14	04-Jul-18	09-Jul-18	6d
Bkg 5	Install New Piping-Bkg 14	10-Jul-18	23-Jul-18	14d
Bkg 6	Pressure Test-Bkg 14	24-Jul-18	25-Jul-18	2d
Bkg 7	Insulate Piping-Bkg 14	26-Jul-18	29-Jul-18	4d
Bkg 8	Re-Install Ceiling Grid-Bkg 14	30-Jul-18	31-Jul-18	2d
Bkg 9	Re-Install Lights & Accessories-Bkg 14	01-Aug-18	02-Aug-18	2d
Bkg 10	Install Tls-Bkg 14	03-Aug-18	03-Aug-18	1d
Bkg 11	Remove Floor & Wall Protection-Bkg 14	04-Aug-18	04-Aug-18	1d
Bkg 12	Patch & Paint-Bkg 14	05-Aug-18	05-Aug-18	1d
Bkg 13	Final Clean-Up-Bkg 14	06-Aug-18	07-Aug-18	2d
<b>BUILDING 11 - ROOM 119B</b>				
Bkg 1-124	Disconnect all Exhaust Fans and RTUs - Bkg 1	19-Oct-18	23-Oct-18	65d
Bkg 1-239	Demo & Waterproof Roof-Bkg 1	19-Oct-18	22-Oct-18	2d
Bkg 1-237	Reconnect & Connect all Exhaust Fans & Roof Top Units Bkg 1	15-Nov-18	15-Nov-18	20d
Bkg 1-288	Replace existing Roof Drains-Bkg 1	16-Nov-18	20-Nov-18	3d
Bkg 1-275	Remove & Replace Roof Curb-Bkg 1	16-Nov-18	20-Nov-18	5d
Bkg 1-337	Replace Existing Roof Drains-Bkg 1	16-Nov-18	26-Nov-18	5d
Bkg 1-343	Lightweight Insulating Concrete-Bkg 1	27-Nov-18	29-Dec-18	16d
Bkg 1-351	LWIC Full Testing-Bkg 1	21-Dec-18	24-Dec-18	2d
Bkg 1-353	Install New Roof Guard Railings- Bkg 1	26-Dec-18	02-Jan-19	5d
Bkg 1-367	Install Roofing-Bkg 1	03-Jan-19	09-Jan-19	5d
Bkg 1-361	Install Sheetrock Trim Bags-Bkg 1	10-Jan-19	25-Jan-19	10d
Bkg 1-365	Install Wall Pads-Bkg 1	10-Jan-19	16-Jan-19	5d
<b>BUILDING 1 - AREA A - AHU #1 ROOM 102B - 2 WK</b>				
Bkg 1-108	Remove Electrical, Controls, Pipes, Duct and Firestop-Bkg 1	23-Oct-18	10-May-19	140d
Bkg 1-109	Demo Air Handlers-Bkg 1	23-Oct-18	25-Oct-18	3d
Bkg 1-121	Reconnect Concrete Pad-Bkg 1	28-Oct-18	30-Oct-18	3d
Bkg 1-122	Disconnect Plumbing & Fire Sprinkler-Bkg 1	28-Oct-18	31-Oct-18	4d
Bkg 1-133	Install New AHU Handler-Bkg 1	01-Nov-18	05-Nov-18	3d
Bkg 1-131	Replace existing Control Panel-Bkg 1	06-Nov-18	06-Nov-18	3d
Bkg 1-130	Reconnect Duct-Bkg 1	06-Nov-18	07-Nov-18	2d
Bkg 1-170	Install New Chill Water Pipe-Bkg 1	06-Nov-18	03-May-19	125d
Bkg 1-243	Reconnect Electrical-Bkg 1	06-Nov-18	08-Nov-18	3d
Bkg 1-254	Insulate Pipe-Bkg 1	06-Nov-18	07-May-19	2d
Bkg 1-270	Insulate Duct-Bkg 1	06-Nov-18	07-May-19	2d
Bkg 1-244	Install Fire Sprinkler System-Bkg 1	06-May-19	07-May-19	2d
Bkg 1-285	Clean & Paint Room-Bkg 1	08-May-19	10-May-19	3d
<b>BUILDING 1 - ROOM 119A</b>				
Bkg 1-108	Remove Electrical, Controls, Pipes, Duct and Firestop-Bkg 1	23-Oct-18	10-May-19	140d

◆ Milestone  
 ■ Actual Level of Effort  
 ■ Actual Work  
 ■ Remaining Work  
 ■ Critical Remaining Work

**MORGANTI**  
 A SCUD FOUNDATION



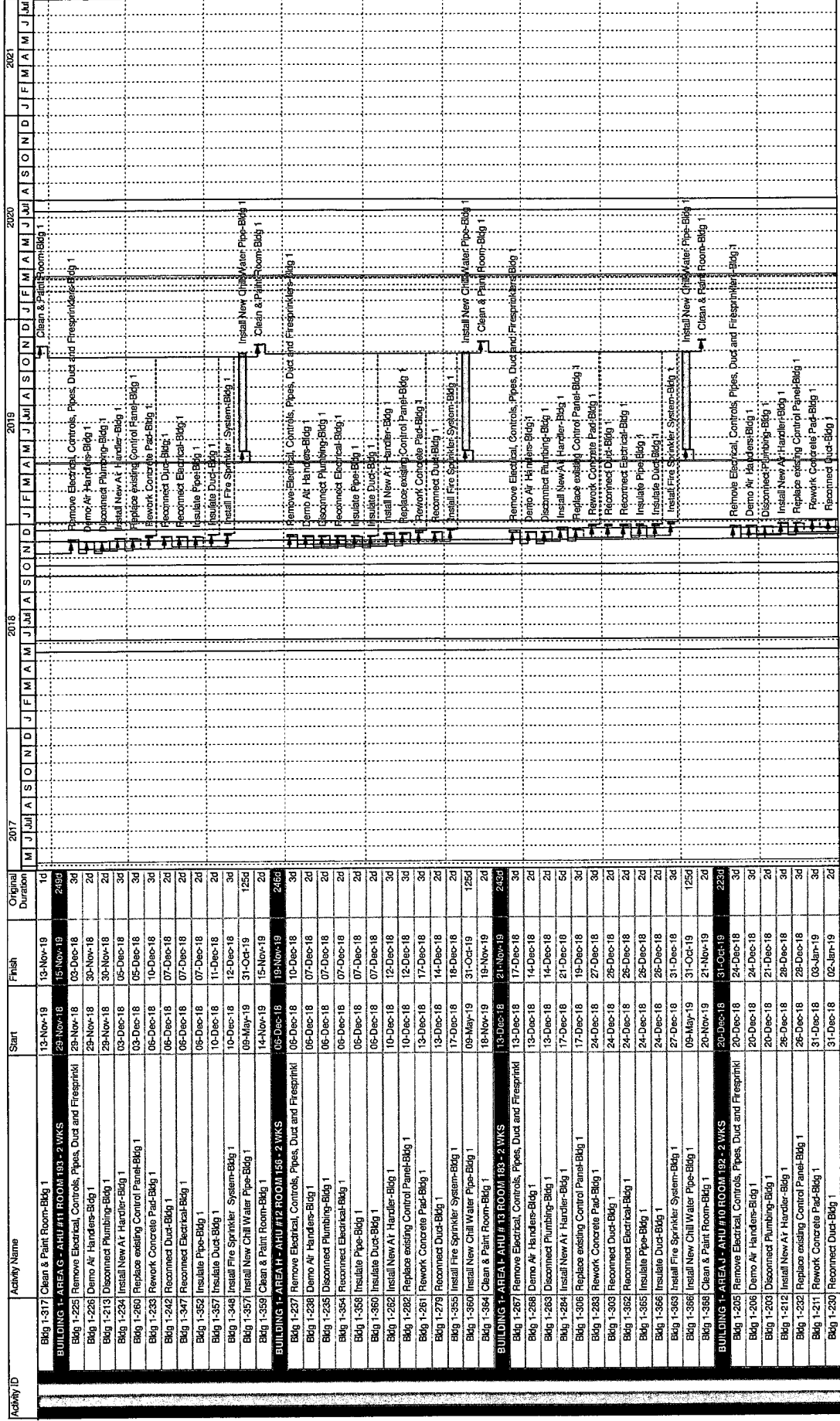


Activity ID	Activity Name	Start	Finish	Original Duration
Bkg 1-450	Replace existing Control Panel-Bldg 1	27-Nov-18	29-Nov-18	3d
Bkg 1-430	Re-work Concrete Pad-Bldg 1	30-Nov-18	05-Dec-18	4d
Bkg 1-460	Reconnect Duct-Bldg 1	30-Nov-18	05-Dec-18	2d
Bkg 1-470	Reconnect Electrical-Bldg 1	30-Nov-18	05-Dec-18	2d
Bkg 1-480	Insulate Pipe-Bldg 1	30-Nov-18	05-Dec-18	2d
Bkg 1-490	Insulate Duct-Bldg 1	04-Dec-18	05-Dec-18	2d
Bkg 1-500	Install Fire Sprinkler System-Bldg 1	06-Dec-18	11-Dec-18	4d
Bkg 1-510	Clean & Paint Room-Bldg 1	12-Dec-18	13-Dec-18	2d
Bkg 1-31	Install New Chilled Water Pipe-Bldg 1	09-May-19	31-Oct-19	125d
<b>BUILDING 1 - AREA E - ANU #9 ROOM 165A - 2 WKS</b>				
Bkg 1-150	Remove Electrical, Controls, Pipes, Duct and Fire Sprinkler	29-Nov-18	05-Dec-18	3d
Bkg 1-151	Demo Air Handline-Bldg 1	03-Dec-18	03-Dec-18	3d
Bkg 1-148	Disconnect Plumbing-Bldg 1	29-Nov-18	30-Nov-18	2d
Bkg 1-158	Demo Wall, Duct & Frame-Bldg 1	29-Nov-18	03-Dec-18	3d
Bkg 1-164	Install New AT Handler-Bldg 1	04-Dec-18	05-Dec-18	3d
Bkg 1-160	Replace existing Control Panel-Bldg 1	04-Dec-18	05-Dec-18	3d
Bkg 1-163	Re-work Concrete Pad-Bldg 1	07-Dec-18	12-Dec-18	4d
Bkg 1-176	Reconnect Duct-Bldg 1	07-Dec-18	10-Dec-18	2d
Bkg 1-295	Reconnect Electrical-Bldg 1	07-Dec-18	10-Dec-18	2d
Bkg 1-311	Install New Chilled Water Pipe-Bldg 1	09-May-19	31-Oct-19	125d
Bkg 1-305	Insulate Pipe-Bldg 1	01-Nov-19	04-Nov-19	2d
Bkg 1-311	Insulate Duct-Bldg 1	01-Nov-19	04-Nov-19	2d
Bkg 1-296	Install Fire Sprinkler System-Bldg 1	05-Nov-19	08-Nov-19	4d
Bkg 1-321	Clean & Paint Room-Bldg 1	11-Nov-19	12-Nov-19	2d
<b>BUILDING 1 - AREA E - MECHANICAL ROOM AHU-3 - 2 WKS</b>				
Bkg 1-168	Remove Electrical, Controls, Pipes, Duct and Fire Sprinkler	04-Dec-18	12-Nov-19	2-33d
Bkg 1-168	Demo Air Handline-Bldg 1	04-Dec-18	06-Dec-18	3d
Bkg 1-165	Disconnect Plumbing-Bldg 1	04-Dec-18	05-Dec-18	2d
Bkg 1-162	Install New AT Handler-Bldg 1	07-Dec-18	11-Dec-18	3d
Bkg 1-181	Re-work Concrete Pad-Bldg 1	12-Dec-18	14-Dec-18	3d
Bkg 1-200	Replace existing Control Panel-Bldg 1	12-Dec-18	14-Dec-18	3d
Bkg 1-195	Reconnect Duct-Bldg 1	12-Dec-18	13-Dec-18	2d
Bkg 1-315	Reconnect Electrical-Bldg 1	12-Dec-18	13-Dec-18	2d
Bkg 1-320	Insulate Pipe-Bldg 1	12-Dec-18	13-Dec-18	2d
Bkg 1-326	Insulate Duct-Bldg 1	14-Dec-18	17-Dec-18	2d
Bkg 1-316	Install Fire Sprinkler System-Bldg 1	17-Dec-18	20-Dec-18	4d
Bkg 1-326	Install New Chilled Water Pipe-Bldg 1	09-May-19	31-Oct-19	125d
Bkg 1-330	Clean & Paint Room-Bldg 1	11-Nov-19	12-Nov-19	2d
<b>BUILDING 1 - AREA F - ANU #7 ROOM 165A - 2 WKS</b>				
Bkg 1-129	Disconnect Plumbing-Bldg 1	02-Nov-18	13-Nov-19	23d
Bkg 1-147	Install New AT Handler-Bldg 1	06-Nov-18	08-Nov-18	3d
Bkg 1-162	Replace existing Control Panel-Bldg 1	06-Nov-18	08-Nov-18	3d
Bkg 1-161	Reconnect Duct-Bldg 1	09-Nov-18	12-Nov-18	2d
Bkg 1-280	Reconnect Electrical-Bldg 1	09-Nov-18	12-Nov-18	2d
Bkg 1-293	Insulate Pipe-Bldg 1	13-Nov-18	14-Nov-18	2d
Bkg 1-298	Insulate Duct-Bldg 1	13-Nov-18	16-Nov-18	4d
Bkg 1-281	Install Fire Sprinkler System-Bldg 1	20-Nov-18	26-Nov-18	3d
Bkg 1-131	Remove Electrical, Controls, Pipes, Duct and Fire Sprinkler	20-Nov-18	26-Nov-18	3d
Bkg 1-132	Demo Air Handline-Bldg 1	20-Nov-18	26-Nov-18	3d
Bkg 1-146	Re-work Concrete Pad-Bldg 1	20-Nov-18	26-Nov-18	3d
Bkg 1-286	Install New Chilled Water Pipe-Bldg 1	09-May-19	31-Oct-19	125d

Remaining Level of Effort ◆ Milestone  
 Actual Level of Effort  
 Remaining Work  
 Critical Remaining Work







Activity ID	Activity Name	Start	Finish	Original Duration
Bldg 1-3174	Clean & Paint Room-Bldg 1	13-Nov-19	13-Nov-19	1d
<b>BUILDING 1- AREA G - ARHU #11 ROOM 193 - 2 WKS</b>				
Bldg 1-2251	Remove Electrical, Controls, Pipes, Duct and Fire Sprinkler	23-Nov-18	15-Nov-19	249d
Bldg 1-2251	Demo Air Handlers-Bldg 1	23-Nov-18	03-Dec-18	3d
Bldg 1-2251	Disconnect Plumbing-Bldg 1	23-Nov-18	30-Nov-18	2d
Bldg 1-2251	Install New Air Handler-Bldg 1	23-Nov-18	30-Nov-18	2d
Bldg 1-2251	Replace existing Control Panel-Bldg 1	03-Dec-18	05-Dec-18	3d
Bldg 1-2251	Rework Concrete Pad-Bldg 1	05-Dec-18	05-Dec-18	3d
Bldg 1-2251	Reconnect Duct-Bldg 1	06-Dec-18	07-Dec-18	2d
Bldg 1-2251	Reconnect Electrical-Bldg 1	06-Dec-18	07-Dec-18	2d
Bldg 1-3501	Insulate Pipe-Bldg 1	06-Dec-18	07-Dec-18	2d
Bldg 1-3571	Insulate Duct-Bldg 1	10-Dec-18	11-Dec-18	2d
Bldg 1-3948	Install Fire Sprinkler System-Bldg 1	10-Dec-18	12-Dec-18	3d
Bldg 1-3571	Install New Chilled Water Pipe-Bldg 1	09-May-19	31-Oct-19	125d
Bldg 1-3559	Clean & Paint Room-Bldg 1	14-Nov-19	15-Nov-19	2d
<b>BUILDING 1- AREA H - ARHU #12 ROOM 156 - 2 WKS</b>				
Bldg 1-2271	Remove Electrical, Controls, Pipes, Duct and Fire Sprinkler	05-Dec-18	19-Nov-19	246d
Bldg 1-2281	Demo Air Handlers-Bldg 1	05-Dec-18	07-Dec-18	2d
Bldg 1-2281	Disconnect Plumbing-Bldg 1	06-Dec-18	07-Dec-18	2d
Bldg 1-3541	Disconnect Electrical-Bldg 1	06-Dec-18	07-Dec-18	2d
Bldg 1-3551	Insulate Pipe-Bldg 1	06-Dec-18	07-Dec-18	2d
Bldg 1-3601	Insulate Duct-Bldg 1	06-Dec-18	07-Dec-18	2d
Bldg 1-2921	Install New Air Handler-Bldg 1	10-Dec-18	12-Dec-18	3d
Bldg 1-2821	Replace existing Control Panel-Bldg 1	10-Dec-18	12-Dec-18	3d
Bldg 1-2811	Rework Concrete Pad-Bldg 1	13-Dec-18	17-Dec-18	3d
Bldg 1-2791	Reconnect Duct-Bldg 1	13-Dec-18	14-Dec-18	2d
Bldg 1-3551	Install Fire Sprinkler System-Bldg 1	17-Dec-18	18-Dec-18	2d
Bldg 1-3601	Install New Chilled Water Pipe-Bldg 1	09-May-19	31-Oct-19	125d
Bldg 1-3641	Clean & Paint Room-Bldg 1	16-Nov-19	16-Nov-19	2d
<b>BUILDING 1- AREA J - ARHU #13 ROOM 163 - 2 WKS</b>				
Bldg 1-2671	Remove Electrical, Controls, Pipes, Duct and Fire Sprinkler	13-Dec-18	21-Nov-19	245d
Bldg 1-2681	Demo Air Handlers-Bldg 1	13-Dec-18	14-Dec-18	2d
Bldg 1-2631	Disconnect Plumbing-Bldg 1	13-Dec-18	14-Dec-18	2d
Bldg 1-2841	Install New Air Handler-Bldg 1	17-Dec-18	21-Dec-18	5d
Bldg 1-3001	Replace existing Control Panel-Bldg 1	17-Dec-18	19-Dec-18	3d
Bldg 1-2831	Rework Concrete Pad-Bldg 1	24-Dec-18	27-Dec-18	3d
Bldg 1-3031	Reconnect Duct-Bldg 1	24-Dec-18	25-Dec-18	2d
Bldg 1-3621	Reconnect Electrical-Bldg 1	24-Dec-18	25-Dec-18	2d
Bldg 1-3651	Insulate Pipe-Bldg 1	24-Dec-18	25-Dec-18	2d
Bldg 1-3661	Insulate Duct-Bldg 1	24-Dec-18	25-Dec-18	2d
Bldg 1-3631	Install Fire Sprinkler System-Bldg 1	27-Dec-18	31-Dec-18	3d
Bldg 1-3681	Install New Chilled Water Pipe-Bldg 1	09-May-19	31-Oct-19	125d
Bldg 1-3581	Clean & Paint Room-Bldg 1	20-Nov-19	21-Nov-19	2d
<b>BUILDING 1- AREA K - ARHU #10 ROOM 192 - 2 WKS</b>				
Bldg 1-2051	Remove Electrical, Controls, Pipes, Duct and Fire Sprinkler	20-Dec-18	31-Oct-19	223d
Bldg 1-2061	Demo Air Handlers-Bldg 1	20-Dec-18	24-Dec-18	3d
Bldg 1-2031	Disconnect Plumbing-Bldg 1	20-Dec-18	24-Dec-18	2d
Bldg 1-2121	Install New Air Handler-Bldg 1	25-Dec-18	28-Dec-18	3d
Bldg 1-2321	Replace existing Control Panel-Bldg 1	25-Dec-18	28-Dec-18	3d
Bldg 1-2111	Rework Concrete Pad-Bldg 1	31-Dec-18	03-Jan-19	3d
Bldg 1-2301	Reconnect Duct-Bldg 1	31-Dec-18	02-Jan-19	2d

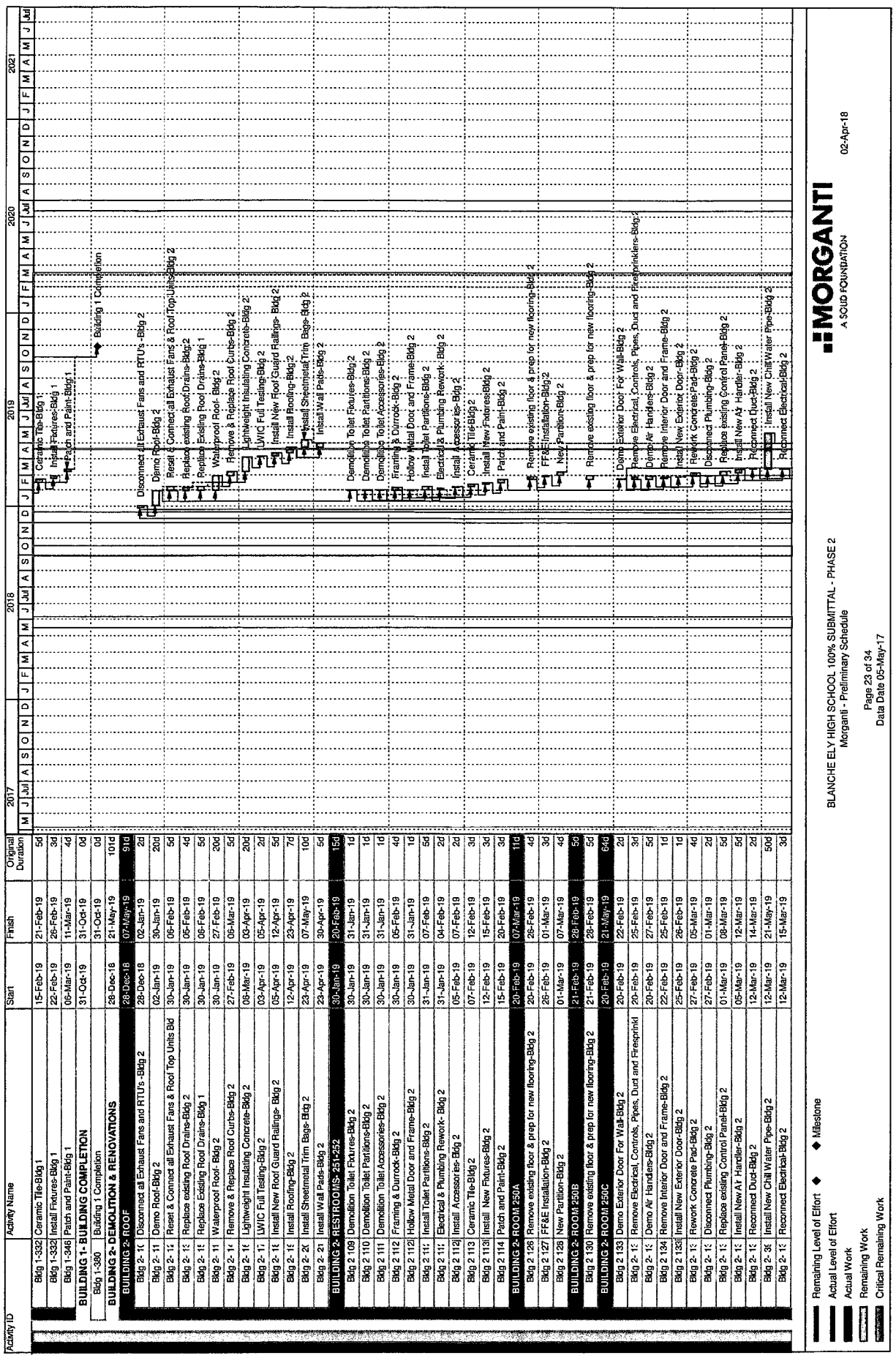
Remaining Level of Effort ◆ Milestone  
 Actual Level of Effort  
 Actual Work  
 Remaining Work  
 Critical Remaining Work



BLANCHE ELY HIGH SCHOOL, 100% SUBMITTAL - PHASE 2  
 Morganti - Preliminary Schedule

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Remaining Level of Effort
  Milestone

Actual Level of Effort
  Actual Work

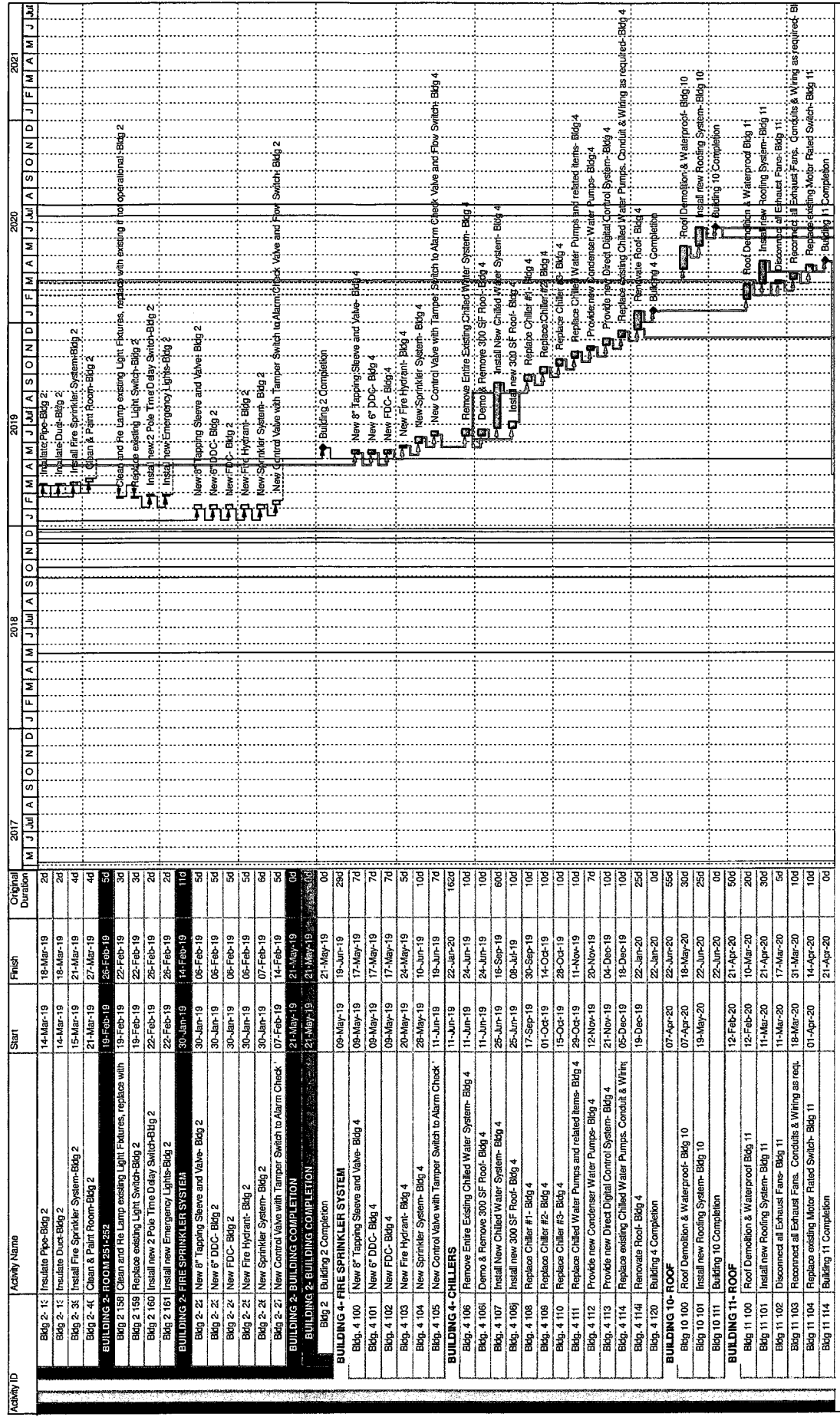
Remaining Work
  Critical Remaining Work



02-Apr-18

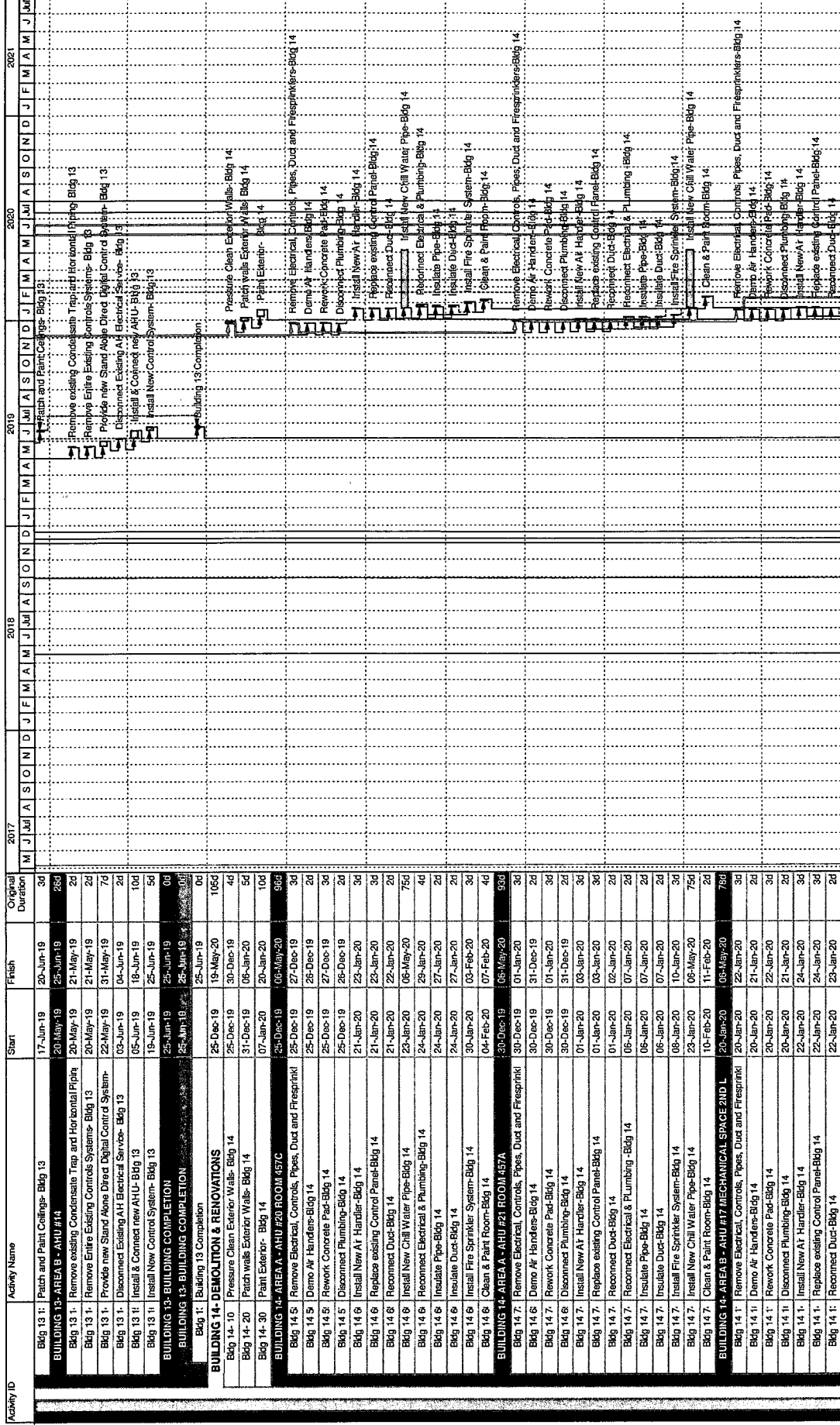
BLANCHE ELY HIGH SCHOOL, 100% SUBMITTAL - PHASE 2

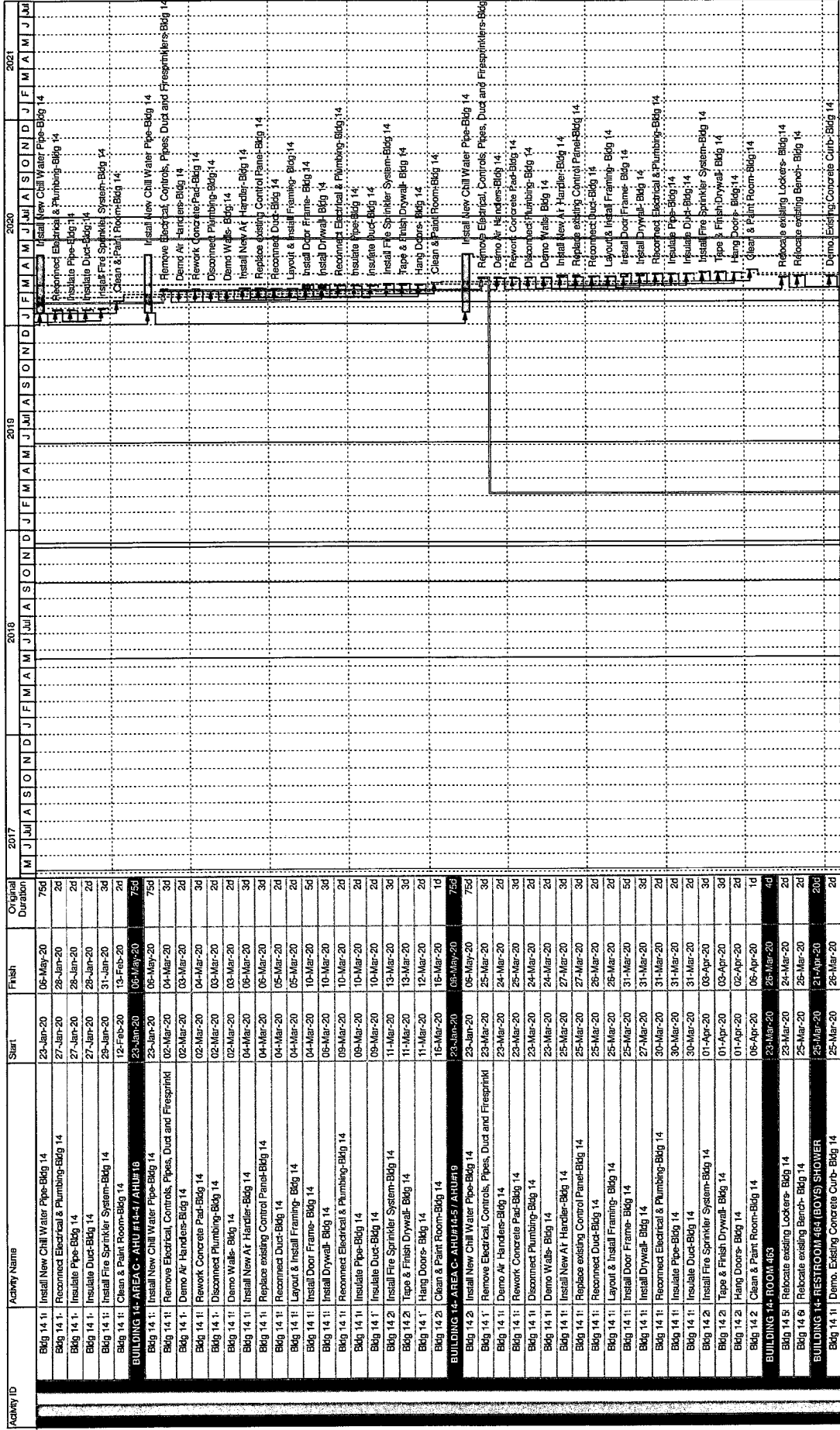
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Activity Name	Start	Finish	Original Duration
Bldg 2-11: Insulate Pipe-Bldg 2	14-Mar-19	18-Mar-19	2d
Bldg 2-12: Insulate Duct-Bldg 2	14-Mar-19	18-Mar-19	2d
Bldg 2-13: Install Fire Sprinkler System-Bldg 2	15-Mar-19	21-Mar-19	4d
Bldg 2-14: Clean & Paint Rooms-Bldg 2	21-Mar-19	27-Mar-19	4d
Bldg 2-15: Clean and Repaint Rooms-Bldg 2	19-Feb-19	25-Feb-19	3d
Bldg 2-16: Clean and Repaint Rooms-Bldg 2	19-Feb-19	25-Feb-19	3d
Bldg 2-17: Replace existing Light Fixtures, replace with existing if not operational-Bldg 2	19-Feb-19	22-Feb-19	2d
Bldg 2-18: Replace existing Light Switch-Bldg 2	19-Feb-19	22-Feb-19	2d
Bldg 2-19: Replace existing Light Switch-Bldg 2	19-Feb-19	22-Feb-19	2d
Bldg 2-20: Install new 2 Pole Time Delay Switch-Bldg 2	19-Feb-19	21-Feb-19	2d
Bldg 2-21: Install new Emergency Lights-Bldg 2	22-Feb-19	24-Feb-19	2d
Bldg 2-22: Install new Emergency Lights-Bldg 2	22-Feb-19	24-Feb-19	2d
Bldg 2-23: New 8\"/>			







Activity ID

Activity Name

Start

Finish

Original Duration

2017

2018

2019

2020

2021

◆ Milestone

■ Actual Level of Effort

■ Actual Work

▨ Remaining Work

▨ Critical Remaining Work





Activity ID	Activity Name	Start	Finish	Original Duration	2017			2018			2019			2020			2021		
					M	J	J	M	J	J	M	J	J	M	J	J	M	J	J
Bldg 14 1	Hollow Metal Doors & Frame- Bldg 14	03-Apr-20	06-Apr-20	2d															
Bldg 14 1	New Ceramic Tile- Bldg 14	07-Apr-20	10-Apr-20	4d															
Bldg 14 1	Install New Fixtures & Accessories- Bldg 14	13-Apr-20	14-Apr-20	2d															
Bldg 14 1	Clean & Paint Ceilings- Bldg 14	05-May-20	12-May-20	5d															
<b>BUILDING 14- RESTROOM 432 (BOYS)</b>		<b>31-Mar-20</b>	<b>14-May-20</b>	<b>33d</b>															
Bldg 14 1	Demolition Toilet Fixtures- Bldg 14	31-Mar-20	01-Apr-20	2d															
Bldg 14 1	Demolition Toilet Partitions- Bldg 14	31-Mar-20	01-Apr-20	2d															
Bldg 14 1	Demolition Toilet Accessories- Bldg 14	31-Mar-20	01-Apr-20	2d															
Bldg 14 1	Framing & Durrock- Bldg 14	02-Apr-20	01-Apr-20	3d															
Bldg 14 1	New Partitions- Bldg 14	02-Apr-20	05-Apr-20	3d															
Bldg 14 1	Plumbing & Electrical Rework- Bldg 14	02-Apr-20	06-Apr-20	3d															
Bldg 14 1	Hollow Metal Doors & Frame- Bldg 14	03-Apr-20	06-Apr-20	2d															
Bldg 14 1	New Ceramic Tile- Bldg 14	07-Apr-20	10-Apr-20	4d															
Bldg 14 1	Install New Fixtures & Accessories- Bldg 14	13-Apr-20	14-Apr-20	2d															
Bldg 14 1	Clean & Paint Ceilings- Bldg 14	13-Apr-20	14-Apr-20	2d															
<b>BUILDING 14- RESTROOM 435 (GIRLS)</b>		<b>31-Mar-20</b>	<b>21-Apr-20</b>	<b>16d</b>															
Bldg 14 1	Demolition Toilet Fixtures- Bldg 14	31-Mar-20	01-Apr-20	2d															
Bldg 14 1	Demolition Toilet Partitions- Bldg 14	31-Mar-20	01-Apr-20	2d															
Bldg 14 1	Demolition Toilet Accessories- Bldg 14	31-Mar-20	01-Apr-20	2d															
Bldg 14 1	Framing & Durrock- Bldg 14	02-Apr-20	01-Apr-20	3d															
Bldg 14 1	New Partitions- Bldg 14	02-Apr-20	05-Apr-20	3d															
Bldg 14 1	Plumbing & Electrical Rework- Bldg 14	02-Apr-20	06-Apr-20	3d															
Bldg 14 1	New Ceramic Tile- Bldg 14	07-Apr-20	10-Apr-20	4d															
Bldg 14 1	Hollow Metal Doors & Frame- Bldg 14	07-Apr-20	08-Apr-20	2d															
Bldg 14 1	Install New Fixtures & Accessories- Bldg 14	13-Apr-20	14-Apr-20	2d															
Bldg 14 2	Clean & Paint Ceilings- Bldg 14	15-Apr-20	21-Apr-20	5d															
<b>BUILDING 14- RESTROOMS 451-454 (CONGESTIONS)</b>		<b>02-Apr-20</b>	<b>15-Apr-20</b>	<b>10d</b>															
Bldg 14 1	Demolition Floor- Bldg 14	02-Apr-20	03-Apr-20	2d															
Bldg 14 1	Demolition Ceilings- Bldg 14	02-Apr-20	03-Apr-20	2d															
Bldg 14 1	Install New Masonry Wall- Bldg 14	02-Apr-20	03-Apr-20	2d															
Bldg 14 1	Stucco New Wall- Bldg 14	02-Apr-20	03-Apr-20	2d															
Bldg 14 1	Install Ceilings- Bldg 14	02-Apr-20	03-Apr-20	2d															
Bldg 14 1	Paint New Walls- Bldg 14	06-Apr-20	08-Apr-20	3d															
Bldg 14 2	Install Flooring- Bldg 14	09-Apr-20	15-Apr-20	5d															
<b>BUILDING 14- ROOM 456</b>		<b>09-Apr-20</b>	<b>22-Apr-20</b>	<b>10d</b>															
Bldg 14 1	Remove Section of Wall- Bldg 14	09-Apr-20	10-Apr-20	2d															
Bldg 14 1	Remove Door and Frame- Bldg 14	09-Apr-20	10-Apr-20	2d															
Bldg 14 1	Install New Wall- Bldg 14	13-Apr-20	16-Apr-20	4d															
Bldg 14 1	Relocate existing Light Fixtures- Bldg 14	17-Apr-20	20-Apr-20	2d															
Bldg 14 1	Relocate existing Receptacles- Bldg 14	21-Apr-20	22-Apr-20	2d															
Bldg 14 1	Relocate existing FCU- Bldg 14	21-Apr-20	22-Apr-20	2d															
Bldg 14 1	Reconnect New FCU, conduit and wiring as required- B	21-Apr-20	22-Apr-20	2d															
<b>BUILDING 14- ROOM 456C</b>		<b>23-Apr-20</b>	<b>07-May-20</b>	<b>11d</b>															
Bldg 14 1	Remove Door and Frame- Bldg 14	23-Apr-20	23-Apr-20	1d															
Bldg 14 2	Install New Wall- Bldg 14	24-Apr-20	29-Apr-20	4d															
Bldg 14 2	Relocate Electrical as noted- Bldg 14	30-Apr-20	01-May-20	2d															
Bldg 14 2	Install new Chair Lift Electrical requirements- Bldg 14	04-May-20	07-May-20	4d															
Bldg 14 2	Disconnect and Reconnect existing Starter- Bldg 14	04-May-20	07-May-20	4d															
<b>BUILDING 14- ROOM 456A</b>		<b>24-Apr-20</b>	<b>13-May-20</b>	<b>14d</b>															
Bldg 14 1	Remove Door and Frame- Bldg 14	24-Apr-20	24-Apr-20	1d															
Bldg 14 2	Install New Walls- Bldg 14	27-Apr-20	30-Apr-20	4d															

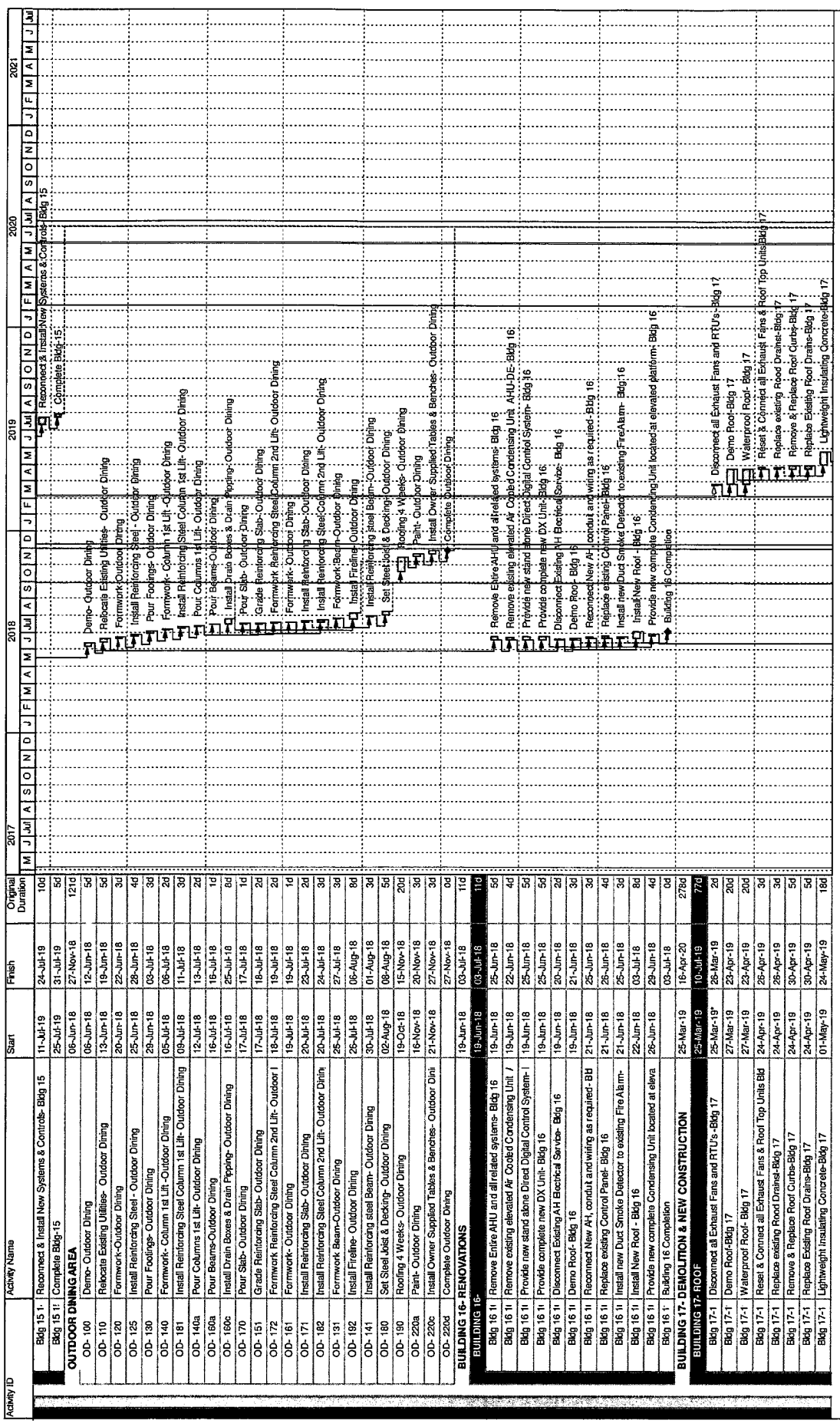
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BLANCHE ELY HIGH SCHOOL 100% SUBMITTAL - PHASE 2  
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Remaining Level of Effort     ♦ Milestone  
 Actual Level of Effort  
 Actual Work  
 Remaining Work  
 Critical Remaining Work





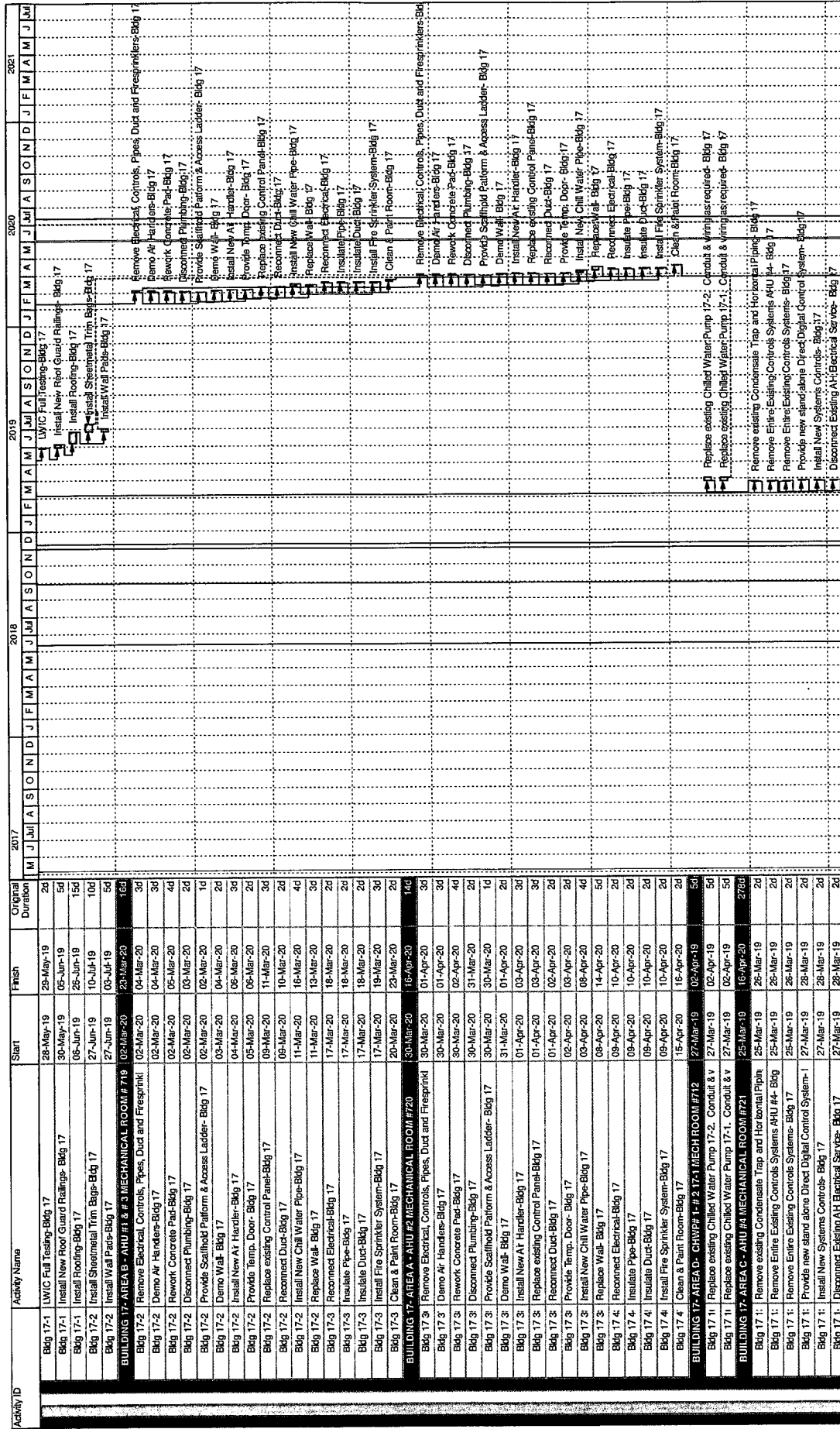
Activity ID	Activity Name	Start	Finish	Original Duration
Bkg 15.1	Reconnect & Install New Systems & Controls- Bkg 15	11-Jul-19	24-Jul-19	10d
Bkg 15.1.1	Complete Bkg-15	25-Jul-19	31-Jul-19	5d
<b>OUTDOOR DINING AREA</b>				
OD- 100	Demo- Outdoor Dining	06-Jun-18	12-Jun-18	5d
OD- 110	Recreate Existing Utilites- Outdoor Dining	13-Jun-18	19-Jun-18	5d
OD- 120	Formwork-Outdoor Dining	20-Jun-18	25-Jun-18	4d
OD- 125	Install Reinforcing Steel - Outdoor Dining	25-Jun-18	28-Jun-18	3d
OD- 130	Pour Footings- Outdoor Dining	29-Jun-18	03-Jul-18	3d
OD- 140	Formwork- Column 1st Lift-Outdoor Dining	05-Jul-18	06-Jul-18	2d
OD- 181	Install Reinforcing Steel Column 1st Lift- Outdoor Dining	09-Jul-18	11-Jul-18	3d
OD- 140a	Pour Columns 1st Lift- Outdoor Dining	12-Jul-18	13-Jul-18	2d
OD- 160a	Pour Beams-Outdoor Dining	16-Jul-18	15-Jul-18	1d
OD- 160c	Install Drain Boxes & Drain Pippin- Outdoor Dining	16-Jul-18	25-Jul-18	8d
OD- 170	Pour Slab- Outdoor Dining	17-Jul-18	17-Jul-18	1d
OD- 151	Grade Reinforcing Slab- Outdoor Dining	17-Jul-18	18-Jul-18	2d
OD- 172	Formwork Reinforcing Steel Column 2nd Lift- Outdoor Dining	18-Jul-18	19-Jul-18	2d
OD- 181	Formwork- Outdoor Dining	19-Jul-18	19-Jul-18	1d
OD- 182	Install Reinforcing Steel Column 2nd Lift- Outdoor Dining	20-Jul-18	24-Jul-18	3d
OD- 131	Formwork Beams-Outdoor Dining	25-Jul-18	27-Jul-18	3d
OD- 192	Install Fireline- Outdoor Dining	25-Jul-18	06-Aug-18	8d
OD- 41	Install Reinforcing steel Beam- Outdoor Dining	30-Jul-18	01-Aug-18	3d
OD- 180	Set Steel Joist & Decking- Outdoor Dining	02-Aug-18	08-Aug-18	5d
OD- 190	Roofing & Weeks- Outdoor Dining	19-Oct-18	15-Nov-18	20d
OD- 220a	Paint- Outdoor Dining	16-Nov-18	20-Nov-18	3d
OD- 220c	Install Owner Supplied Tables & Benches- Outdoor Dining	21-Nov-18	27-Nov-18	3d
OD- 220d	Complete Outdoor Dining	27-Nov-18	27-Nov-18	0d
<b>BUILDING 16- RENOVATIONS</b>				
Bkg 16.1	Remove Entire AHU and all related systems- Bkg 16	19-Jun-18	03-Jul-18	11d
Bkg 16.1.1	Remove existing elevated Air Control Condensing Unit /	19-Jun-18	25-Jun-18	5d
Bkg 16.1.2	Provide new stand alone Direct Digital Control System /	19-Jun-18	22-Jun-18	4d
Bkg 16.1.3	Provide complete new DX Unit- Bkg 16	19-Jun-18	25-Jun-18	5d
Bkg 16.1.4	Disconnect Existing AH Electrical Service- Bkg 16	19-Jun-18	20-Jun-18	2d
Bkg 16.1.5	Demo Roof- Bkg 16	19-Jun-18	21-Jun-18	3d
Bkg 16.1.6	Reconnect New AH, conduit and wiring as required- Bkg 16	21-Jun-18	25-Jun-18	3d
Bkg 16.1.7	Replace existing Control Panel- Bkg 16	21-Jun-18	26-Jun-18	4d
Bkg 16.1.8	Install new Duct Smoke Detector to existing Fire Alarm- Bkg 16	21-Jun-18	25-Jun-18	3d
Bkg 16.1.9	Provide new complete Condensing Unit located at eleva	22-Jun-18	03-Jul-18	8d
Bkg 16.1.10	Building 16 Completion	26-Jun-18	29-Jun-18	4d
<b>BUILDING 17- DEMOLITION &amp; NEW CONSTRUCTION</b>				
Bkg 17.1	Disconnect all Exhaust Fans and RTUs- Bkg 17	25-Mar-19	16-Apr-20	276d
Bkg 17.1.1	Demo Roof-Bkg 17	25-Mar-19*	10-Jul-19	77d
Bkg 17.1.2	Waterproof Roof- Bkg 17	27-Mar-19	23-Apr-19	20d
Bkg 17.1.3	Reset & Connect all Exhaust Fans & Roof Top Units Bkg 17	27-Mar-19	23-Apr-19	20d
Bkg 17.1.4	Replace existing Roof Drains-Bkg 17	24-Apr-19	25-Apr-19	3d
Bkg 17.1.5	Remove & Replace Roof Curbs-Bkg 17	24-Apr-19	26-Apr-19	3d
Bkg 17.1.6	Replace Existing Roof Drains-Bkg 17	24-Apr-19	30-Apr-19	5d
Bkg 17.1.7	Lightweight Insulating Concrete-Bkg 17	01-May-19	24-May-19	18d

**BLANCHE ELY HIGH SCHOOL 100% SUBMITTAL - PHASE 2**  
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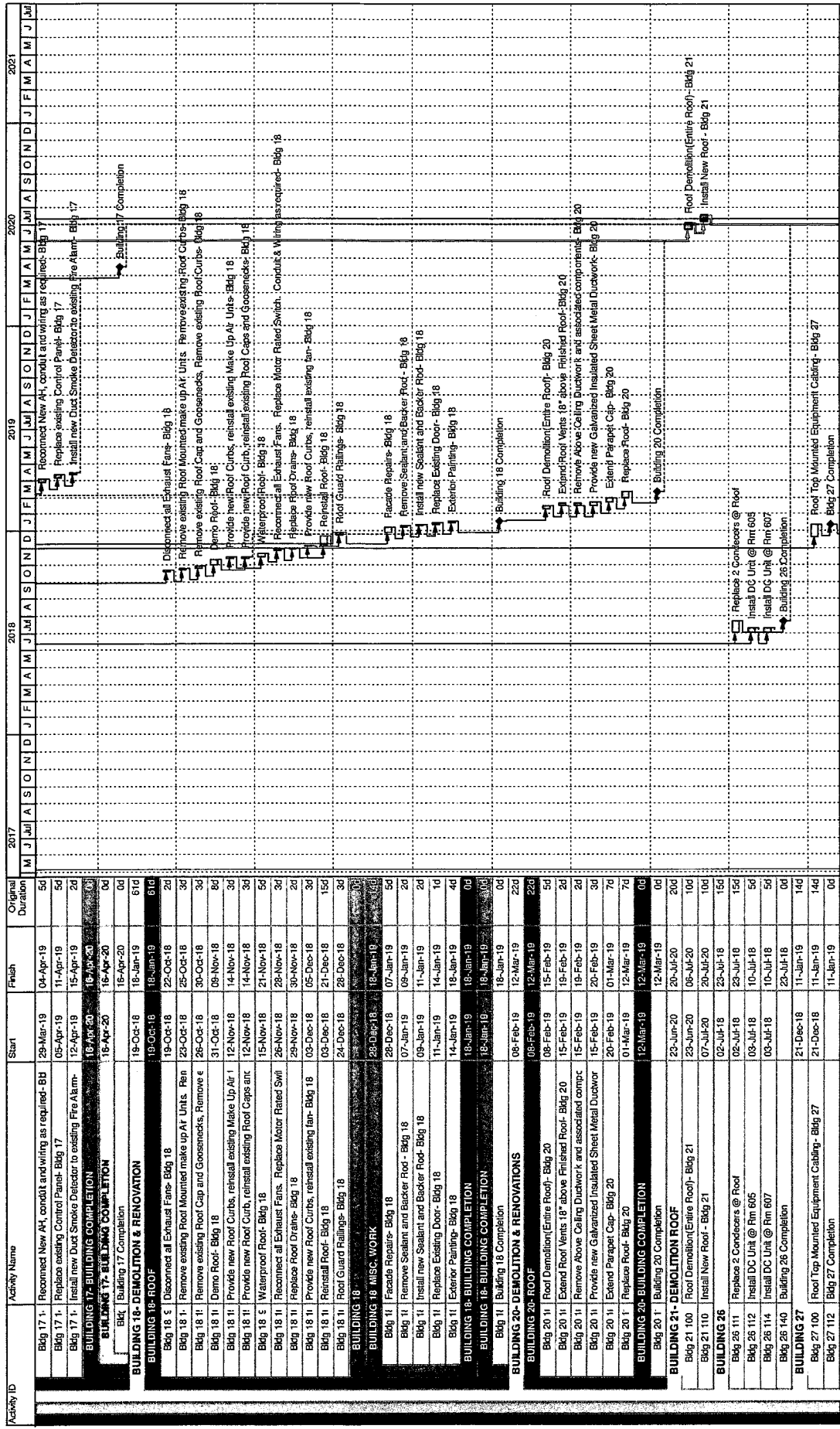
02-Apr-18

◆ Milestone  
 Actual Level of Effort  
 Actual Work  
 Remaining Work  
 Critical Remaining Work

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**COLLABORATION**

**SIGN-OFF FORM**

**Item #/Title of Agenda Request Item:** 1. Second GMP Amendment to Construction Services Agreement  
The Morganti Group, Inc.  
Blanca Ely High School, Pompano  
SMART Program Renovations  
Project No. P.001646

**Special School Board Meeting:** 04/17/2018

**The financial impact of this item is \$7,310,000**

- ( ) This project has not been appropriated in the Adopted District Educational Facilities Plan (September 6, 2017). These funds in the amount of \$\_\_\_\_\_ will come from the Capital Projects Reserve.
- ( ) This project has been appropriated in the Adopted District Educational Facilities Plan (September 6, 2017). There is no impact to the project budget.
- ( ) This project has been appropriated in the Adopted District Educational Facilities Plan (September 6, 2017). There is no current impact to the project budget. There is a potential future impact to the project budget based on the additional scope approved in this item.
-  ( ) This project has been appropriated in the Adopted District Educational Facilities Plan (September 6, 2017). There is an additional impact to the project budget. These funds in the amount of \$7,310,000 will come from the Capital Projects Reserve.

( ) **Comments:**

Department Name

Department Head

Department Head

Capital Budget

Omar Shim, Director

  
Signature

  
Date

**Note: By signing this collaboration the Capital Budget Department is acknowledging that the budget impact as stated is correct. Other aspects of the agenda item are the responsibility of the department submitting the item.**